



Prepared by: Todd Biron  
Planning Coordinator

I. APPLICATION DATA

A. **Case Number:** CU-0525-00010

B. **Location:**

**Address:** No Address Assigned

**Parcel Number:** 22-30-16-30374-000-0400 & 22-30-16-30374-000-0402

C. **Request:**

Conditional Use approval for an increase in Maximum Height from 50 feet to 55 feet in the Light Industrial (M-1) Zoning District.

D. **Applicant/Agent:** Suzanne Walker (Stearns Weaver Miller), Kevin Reali Esq. (Stearns Weaver Miller)

E. **Property Owner:** Huntley Properties and Landholdings, LLC

F. **Legal Ad Text:** Conditional Use approval for an increase in Maximum Height from 50 feet to 55 feet in the Light Industrial (M-1) Zoning District.

G. **PARC Meeting:** May 27, 2025

H. **Public Hearings:**

**P+Z Hearing Date:** July 3, 2025

**Advertising Date:** June 18, 2025

**City Council Hearing Date:** August 12, 2025

**Advertising Date:** July 30, 2025

II. BACKGROUND INFORMATION

A. **Case Summary:**

The subject property is currently undeveloped with Duke Energy transmission lines running along the eastern portion of the site.

The proposed use of multi-family apartments at the subject site is allowed per Florida State Statute 166.04151, otherwise known as the Live Local Act. This act preempts local regulations and allows affordable housing developments with administrative approval as long as the project meets the requirements listed in the Live Local Act. 40% of the units must be affordable, or in which "monthly rents or monthly mortgage payments including taxes, insurance, and utilities do not exceed 30 percent of that amount which represents the percentage of the median adjusted gross annual income for the households", as defined by Florida State Statute 420.0004. All requirements of this Act are proposed to be met. As such, the City is administratively approving the Multi-Family development per State Statute.

With regard to height, the Live Local Act states "A municipality may not restrict the height of a proposed development authorized under this subsection below the highest currently allowed height for a commercial or residential building located in its jurisdiction within 1 mile of the proposed development or 3 stories, whichever is higher". In this case, the highest allowable height within 1 mile of the subject site is 50 feet,

which is permitted in the "B-1" General Commercial zoning district. As such, the request is for an increase in allowable height from 50 feet to 55 feet. The increase in allowable height is requested to accommodate a preferred roof design that is functionally better for rainwater runoff and is proposed to be more aesthetically pleasing.

The conditional use requirements below apply to this development:

- (a) Review by the Planning and Zoning Commission and approval by City Council.  
*In progress.*
- (b) All setback requirements shall be increased by fifty (50) percent.  
*This requirement is proposed to be met.*

**B. Site Area:** 1,059,493 square feet / 24.31 acres

**C. Property History:** The subject site is part of the Gateway Centre Business Park, which was platted in 1987, and has not been developed.

The site is part of several area plans that were meant to guide future development:

- Gateway CC&R's
  - Applies to all properties. Design restrictions, landscaping, etc.
  - Developer must comply with these rules or work with the Gateway POA to amend them as needed.
- Countywide Plan Map/Rules
  - Activity Center (AC) with Target Employment Center (TEC) Overlay
- 2011 Gateway Master Plan
  - This plan establishes residential entitlements for this particular development, but also states that development on the remaining Gateway Centre parcels will be in conformance with their underlying future land use designations. It describes how a maximum of 25% of the master plan area could be residential.
  - This was adopted as an ordinance through a quasi-judicial process initiated by the Gateway property owner.
- 2018 Gateway Master Plan
  - Cross-jurisdictional plan broadly describing and memorializing the shared vision for the Gateway area. This is not a firm regulatory document and is more conceptual.

A Preliminary Site Plan (PSP-0225-00002) was applied for in early 2025 for review of the development proposal. While this was not a requirement, it provided City staff an opportunity to analyze the impacts of the development. Staff approved the plans in accordance with Florida State Statute 166.04151.

**D. Existing Use:** Vacant Industrial

**E. Proposed Use:** Multi-Family Residential

**F. Current Future Land Use:** Industrial Limited (IL) and Preservation (P) (eastern parcel)

**G. Current Zoning District:** Light Industrial (M-1)

**H. Flood Zone:** X, X-shaded, AE-11, AE-12

**I. Evacuation Zone:** C



**J. Vicinity Characteristics:**

	<b>ZONING</b>	<b>LAND USE</b>	<b>CURRENT USE</b>
<b>NORTH</b>	M-1	IL	Warehouse/Manufacturing
<b>SOUTH</b>	T-2	RLM	Mobile Home Park
<b>EAST</b>	M-1(IPUD)	IL	Epic Apartments
<b>WEST</b>	B-1	CG	Multi-tenant Office

**II. APPLICABLE CRITERIA / CONSIDERATIONS**

**A. Comprehensive Plan Policies:**

**Industrial Limited**

**1. Land Use Purpose / Intent:**

*This category is intended to recognize areas developed with, or appropriate to be developed with, a wide range of employment uses, including primary industries (i.e., those with a customer base that extends beyond Pinellas County), allowing for flex space, and for uses that have minimal external impacts.*

**2. Key Standards:**

**Use Characteristics** - Those uses appropriate to and consistent with this category include:

**Permitted Uses Not Subject to Acreage Thresholds** – Office; Research/Development-Light; Research/Development-Heavy; Storage/Warehouse/Distribution-Light; Storage/Warehouse/Distribution-Heavy; Manufacturing-Light; Manufacturing-Medium; Incinerator Facility.

**Permitted Uses Subject to Acreage Thresholds** – Any contiguous use or combination of uses subject to the respective acreage threshold specified below, alone or when added together within any distinct, separately delineated area designated Industrial Limited, exceeding the acreage maximum shall require a Future Land Use Map amendment to another category that permits the use(s) where the acreage maximum does not apply:

- Uses Subject to Three Acre Maximum – Retail Commercial; Personal Service/Office Support; Transfer/Recycling.
- Uses Subject to Five Acre Maximum – Temporary Lodging; Commercial/Business Service; Commercial Recreation; Institutional; Transportation/Utility; Community Garden; Agricultural-Light; Agricultural.

**Locational Characteristics** – This category is generally appropriate to locations with sufficient size to support target employment and other industrial uses, as well as integrated industrial/mixed-use projects, with provision for internal service access and other necessary site improvements in locations suitable for light industrial use with minimal adverse impact on adjoining uses; served by the collector, arterial, and highway network; and on Multimodal Corridors and Future Transit Corridors depicted on the Land Use Strategy Map of the Countywide Plan, where its proximity to transit service supports the type and density/intensity of the proposed use characteristics.

**3. Relevant Policies:**

**GOAL LU.1**

*Concentrate future residential and commercial growth in an identifiable City center; preserve and enhance residential, equestrian/farm, and industrial areas; provide connectivity with complete and safe streets that provide mobility for all users; and coordinate these efforts with the maintenance and enhancement of green space.*

**OBJECTIVE LU.1.12**

*Ensure that development improves quality of life and is consistent with the Comprehensive Plan, Gateway Master Plan, and Community Redevelopment Plan through the site plan review process.*

**OBJECTIVE LU.1.2**

*Reduce the number of existing uses that are inconsistent with the community's character, vision, and/or Future Land Use.*

**OBJECTIVE LU.1.11**

*Provide housing choices and opportunities for a range of incomes, ages, abilities, and lifestyles.*

**OBJECTIVE H.1.1**

*Support the provision of an adequate and equitable supply of dwelling units in a variety of types, locations, and costs to meet the current and projected housing needs of all residents.*

**POLICY ED.1.1.4**

*Protect existing land designated for employment-generating uses, whether vacant or developed, from encroachment of incompatible uses through Healthy Places: Future Land Use Element policies and Land Development Code regulations.*

**OBJECTIVE ED.3.2**

*Promote the development and redevelopment of key project sites featured in the Gateway Master Plan that are planned in and adjacent to Pinellas Park.*

**4. Staff Analysis:**

The proposed multi-family development is not a use that is consistent with nor supported by the IL Land Use category. The site is located within an area that the City and County have previously collaborated on and designated for light industrial developments for employment opportunities. This development is inconsistent with the Gateway Master Plan and will reduce land that was previously protected for employment-generating uses.

However, some of the policies and objectives of the adopted Comprehensive Plan, such as LU.1.11 and H.1.1, support such a project as it provides new housing opportunities for a diverse range of incomes.

Staff finds that the proposed use and site plan are generally inconsistent with and unsupported by the Land Use designation and the Goals, Objectives, and Policies of the Comprehensive Plan. The project is proposed to be developed in accordance with F.S.S. 166.04151 (the Live Local Act), which allows residential developments on lots in which such a use is not permitted so long as 40% of the units are affordable. The Comprehensive Plan is generally preempted in such a case.

**B. Zoning District / Land Development Code Standards:**

**1. Zoning District Purpose / Intent:**

*The "M-1" Light Industrial District is established in order to identify and provide those geographic areas within the City of Pinellas Park that are appropriate for the development and maintenance of a light industrial environment, which does not create hazardous or other serious detrimental effects upon the public health in the surrounding areas. This district is intended primarily for a wide variety of industrial uses and compatible retail, wholesale, distributing operations, and in limited situations as provided in (B) below, single and multi-family dwellings, together with accessory uses and public facilities customary to or required for such an environment.*

*Areas of the City for which this zoning category is appropriate are designated on the Land Use Plan Map as Industrial Limited (IL) or Community Redevelopment District (CRD) Land Use Plan Map Categories.*

**2. Key Standards:**

**SECTION 18-1524. - "M-1" LIGHT INDUSTRIAL DISTRICT**  
**Sec. 18-1524.3. - PERMITTED AND CONDITIONAL USES.**

**Table 18-1524.3: Authorized Land Uses in M-1 District**



Land Use	Approval Type	Conditions
Height—buildings and structures over forty (40) feet	C	Subject to section 18-1531

**Sec. 18-1524.4. - DIMENSIONAL AND AREA REGULATIONS.**

**(A) MINIMUM LOT REQUIREMENTS.**

1. Lot Area: Fifteen thousand (15,000) square feet.
2. Lot Width: One hundred (100) feet.
3. Lot Depth: One hundred fifty (150) feet.
4. Lots of record not meeting the lot area, width, or depth requirements of this section and having been of record prior to the adoption of these regulations may be used for a permitted or conditional use provided that all other dimensional regulations will apply.

**(B) MINIMUM YARD SETBACK REQUIREMENTS.**

1. Front Yard Setback: Twenty (20) feet.
2. Secondary Front Yard Setback: Ten (10) feet.
3. Side Yard Setback: Five (5) feet; ten (10) feet is required if abutting a residential zoning district.
4. Rear Yard Setback: Five (5) feet; ten (10) feet is required if abutting a residential zoning district.
5. For corner, double frontage and multiple frontage lots, see Section 18-1503.7, "Yard Determinations."
6. Refer to Section 18-1503.8 for measurement of yard setbacks on lots adjacent to rights-of-way of insufficient width.

**(C) MAXIMUM LOT COVERAGE.** Seventy-five (75) percent. Refer to Section 18-1530.18 for maximum lot coverage allowances for master stormwater retention/detention ponds.

**(D) MINIMUM FLOOR AREA AND LIVEABLE FLOOR AREA.**

1. Nonresidential: Three hundred (300) square feet.
2. Residential: See Table 1524-1.  
Single-family Detached: One thousand (1,000) SF.

**(E) FLOOR AREA RATIO.**

1. Fifty-five hundredths (0.55) in CRD.
2. Fifty-five hundredths (0.55) in IL.

**(F) MAXIMUM BUILDING HEIGHT.** Forty (40) feet. See Section 18-1503.13, "Exclusion from Height Limits", for height limit exclusions.

**SECTION 18-1531. - CONDITIONAL USE REGULATIONS**

**Sec. 18-1531.6. - REVIEW CRITERIA.**

(A) In granting an application for a conditional use, the City shall find that such approval will not adversely affect the public interest, and shall consider the compatibility criteria listed in Paragraph (C), below, in their decision.

(B) In evaluating an application for conditional use, the presence of nonconforming uses or buildings, substandard property maintenance, or substandard conditions in the neighborhood shall not be used to justify the granting of a conditional use. Additionally, the cumulative impact of the proposed use in proximity to a similar existing use shall be considered, as shall the scale, placement, orientation, design, appearance, and intensity of the conditional use and improvements to be associated with the conditional use, as applicable.

**(C) COMPATIBILITY REVIEW CRITERIA.**

1. Whether the use and its proposed scale will be inconsistent with the established character of the immediate neighborhood, to the extent that such character is consistent with the Comprehensive Plan and the provisions of the applicable zoning district(s).
2. Whether the use will diminish the use or enjoyment of other properties and living or working conditions in the neighborhood.
3. Whether the use will impede the normal and orderly development and improvement of surrounding properties for uses permitted in their respective zoning districts and in a manner consistent with the Comprehensive Plan.
4. Whether the establishment, maintenance or operation of the use will be detrimental to, or endanger, the public health, safety, comfort, or general welfare as a result of hours of



- operation, arrangement of uses on the site, noise, vibration, emission or pollutant, glare, odor, dust, traffic congestion, attractive nuisance, or other condition.
5. Whether the land area is sufficient, appropriate and adequate for the use and reasonably anticipated operations and expansion thereof.
  6. Whether the use and associated improvements will adversely affect a known archaeological, historical, cultural, or landscape resource.
  7. Whether the particular traffic generation characteristics of the proposed use, including the type of vehicular traffic associated with such uses is compatible with the traffic generation characteristics of other uses permitted in the zoning district(s) applicable to the neighborhood.

**Sec. 18-1531.10. – LIST OF CONDITIONAL USES AND REQUIREMENTS**

38. Height—Buildings and Structures Over Fifty (50) Feet in the B-1 District and Forty (40) Feet in Other Districts except "TC" Town Center District.

- (a) Review by Planning and Zoning Commission and approval by City Council.
- (b) All setback requirements shall be increased by fifty (50) percent.

**3. Staff Analysis:**

The proposed use, Multi-Family Dwellings, is not a permitted use in the "M-1" zoning district. The development has been proposed in accordance with F.S.S. 166.04151 (the Live Local Act) and has been processed administratively as the statute dictates. The Act permits residential developments in the "M-1" zoning district as long as 40% of the proposed units are "affordable". The Act also allows the development to reach the maximum allowable height of any zoning district within one mile of the subject property, which in this case is the "B-1" General Commercial Zoning District. That district allows a development to have a maximum height of fifty (50) feet. The Live Local Act preempts many aspects of the Land Development Code.

While Staff finds the proposed use to be inconsistent with the Land Development Code, the height request is similar to the nearby Epic apartments and Cortland Satori apartments. Epic apartments was approved via PUD 2011-2(R) with a maximum height of 58 feet by the City Council. Cortland Satori was approved via PUD 2017-2(R) with a maximum building height of 72 feet. The current request is relatively minor and is not expected to negatively impact the area any more than the 50 feet that is permitted by state statute.

**C. Florida State Statutes**

**1. F. S. S. 166.04151 – Affordable Housing (The Live Local Act):**

- 1) Notwithstanding any other provision of law, a municipality may adopt and maintain in effect any law, ordinance, rule, or other measure that is adopted for the purpose of increasing the supply of affordable housing using land use mechanisms such as inclusionary housing or linkage fee ordinances.
- 2) An inclusionary housing ordinance may require a developer to provide a specified number or percentage of affordable housing units to be included in a development or allow a developer to contribute to a housing fund or other alternatives in lieu of building the affordable housing units.
- 3) An affordable housing linkage fee ordinance may require the payment of a flat or percentage-based fee, whether calculated on the basis of the number of approved dwelling units, the amount of approved square footage, or otherwise.
- 4) In exchange for a developer fulfilling the requirements of subsection (2) or, for residential or mixed-use residential development, the requirements of subsection (3), a municipality must provide incentives to fully offset all costs to the developer of its affordable housing contribution or linkage fee. Such incentives may include, but are not limited to:
  - a) Allowing the developer density or intensity bonus incentives or more floor space than allowed under the current or proposed future land use designation or zoning;
  - b) Reducing or waiving fees, such as impact fees or water and sewer charges; or
  - c) Granting other incentives.
- 5) Subsection (4) does not apply in an area of critical state concern, as designated by s. 380.0552 or chapter 28-36, Florida Administrative Code.



6) Notwithstanding any other law or local ordinance or regulation to the contrary, the governing body of a municipality may approve the development of housing that is affordable, as defined in s. 420.0004, including, but not limited to, a mixed-use residential development, on any parcel zoned for commercial or industrial use, so long as at least 10 percent of the units included in the project are for housing that is affordable. The provisions of this subsection are self-executing and do not require the governing body to adopt an ordinance or a regulation before using the approval process in this subsection.

7)

- a) A municipality must authorize multifamily and mixed-use residential as allowable uses in any area zoned for commercial, industrial, or mixed use if at least 40 percent of the residential units in a proposed multifamily development are rental units that, for a period of at least 30 years, are affordable as defined in s. 420.0004. Notwithstanding any other law, local ordinance, or regulation to the contrary, a municipality may not require a proposed multifamily development to obtain a zoning or land use change, special exception, conditional use approval, variance, or comprehensive plan amendment for the building height, zoning, and densities authorized under this subsection. For mixed-use residential projects, at least 65 percent of the total square footage must be used for residential purposes.
- b) A municipality may not restrict the density of a proposed development authorized under this subsection below the highest currently allowed density on any land in the municipality where residential development is allowed under the municipality's land development regulations. For purposes of this paragraph, the term "highest currently allowed density" does not include the density of any building that met the requirements of this subsection or the density of any building that has received any bonus, variance, or other special exception for density provided in the municipality's land development regulations as an incentive for development.
- c) A municipality may not restrict the floor area ratio of a proposed development authorized under this subsection below 150 percent of the highest currently allowed floor area ratio on any land in the municipality where development is allowed under the municipality's land development regulations. For purposes of this paragraph, the term "highest currently allowed floor area ratio" does not include the floor area ratio of any building that met the requirements of this subsection or the floor area ratio of any building that has received any bonus, variance, or other special exception for floor area ratio provided in the municipality's land development regulations as an incentive for development. For purposes of this subsection, the term "floor area ratio" includes floor lot ratio.
- d)
  - 1. A municipality may not restrict the height of a proposed development authorized under this subsection below the highest currently allowed height for a commercial or residential building located in its jurisdiction within 1 mile of the proposed development or 3 stories, whichever is higher. For purposes of this paragraph, the term "highest currently allowed height" does not include the height of any building that met the requirements of this subsection or the height of any building that has received any bonus, variance, or other special exception for height provided in the municipality's land development regulations as an incentive for development.
  - 2. If the proposed development is adjacent to, on two or more sides, a parcel zoned for single-family residential use that is within a single-family residential development with at least 25 contiguous single-family homes, the municipality may restrict the height of the proposed development to 150 percent of the tallest building on any property adjacent to the proposed development, the highest currently allowed height for the property provided in the municipality's land development regulations, or 3 stories, whichever is higher. For the purposes of this paragraph, the term "adjacent to" means those properties sharing more than one point of a property line, but does not include properties separated by a public road.
- e) A proposed development authorized under this subsection must be administratively approved and no further action by the governing body of the municipality is required if the development satisfies the municipality's land development regulations for



*multifamily developments in areas zoned for such use and is otherwise consistent with the comprehensive plan, with the exception of provisions establishing allowable densities, floor area ratios, height, and land use. Such land development regulations include, but are not limited to, regulations relating to setbacks and parking requirements. A proposed development located within one-quarter mile of a military installation identified in s. 163.3175(2) may not be administratively approved. Each municipality shall maintain on its website a policy containing procedures and expectations for administrative approval pursuant to this subsection.*

- f)
  - 1. *A municipality must consider reducing parking requirements for a proposed development authorized under this subsection if the development is located within one-quarter mile of a transit stop, as defined in the municipality's land development code, and the transit stop is accessible from the development.*
  - 2. *A municipality must reduce parking requirements by at least 20 percent for a proposed development authorized under this subsection if the development:*
    - a. *Is located within one-half mile of a major transportation hub that is accessible from the proposed development by safe, pedestrian-friendly means, such as sidewalks, crosswalks, elevated pedestrian or bike paths, or other multimodal design features.*
    - b. *Has available parking within 600 feet of the proposed development which may consist of options such as on-street parking, parking lots, or parking garages available for use by residents of the proposed development. However, a municipality may not require that the available parking compensate for the reduction in parking requirements.*
  - 3. *A municipality must eliminate parking requirements for a proposed mixed-use residential development authorized under this subsection within an area recognized by the municipality as a transit-oriented development or area, as provided in paragraph (h).*
  - 4. *For purposes of this paragraph, the term "major transportation hub" means any transit station, whether bus, train, or light rail, which is served by public transit with a mix of other transportation options.*
- g) *A municipality that designates less than 20 percent of the land area within its jurisdiction for commercial or industrial use must authorize a proposed multifamily development as provided in this subsection in areas zoned for commercial or industrial use only if the proposed multifamily development is mixed-use residential.*
- h) *A proposed development authorized under this subsection which is located within a transit-oriented development or area, as recognized by the municipality, must be mixed-use residential and otherwise comply with requirements of the municipality's regulations applicable to the transit-oriented development or area except for use, height, density, floor area ratio, and parking as provided in this subsection or as otherwise agreed to by the municipality and the applicant for the development.*
- i) *Except as otherwise provided in this subsection, a development authorized under this subsection must comply with all applicable state and local laws and regulations.*
- j)
  - 1. *Nothing in this subsection precludes a municipality from granting a bonus, variance, conditional use, or other special exception to height, density, or floor area ratio in addition to the height, density, and floor area ratio requirements in this subsection.*
  - 2. *Nothing in this subsection precludes a proposed development authorized under this subsection from receiving a bonus for density, height, or floor area ratio pursuant to an ordinance or regulation of the jurisdiction where the proposed development is located if the proposed development satisfies the conditions to receive the bonus except for any condition which conflicts with this subsection. If a proposed development qualifies for such bonus, the bonus must be administratively approved by the municipality and no further action by the governing body of the municipality is required.*
- k) *This subsection does not apply to:*
  - 1. *Airport-impacted areas as provided in s. 333.03.*



2. Property defined as recreational and commercial working waterfront in s. 342.201(2)(b) in any area zoned as industrial.

l) This subsection expires October 1, 2033.

- 8) Any development authorized under paragraph (7)(a) must be treated as a conforming use even after the expiration of subsection (7) and the development's affordability period as provided in paragraph (7)(a), notwithstanding the municipality's comprehensive plan, future land use designation, or zoning. If at any point during the development's affordability period the development violates the affordability period requirement provided in paragraph (7)(a), the development must be allowed a reasonable time to cure such violation. If the violation is not cured within a reasonable time, the development must be treated as a nonconforming use.

## 2. Staff Analysis:

Staff have reviewed the language within F.S.S. 166.04151 (the Live Local Act) and have determined that the proposed development meets, or is proposed to meet the criteria. The subject site is located within the "M-1" Light Industrial Zoning District which does not currently permit residential uses. The planned multi-family development is proposed to meet the affordability component of the Act and therefore must be processed through the city administratively without a public hearing or input from the local governing body as outlined in FSS 166.04151(7)(a).

While Staff finds the proposed use to be inconsistent with the Land Development Code, the height request is similar to the nearby Epic apartments and Cortland Satori apartments. Epic apartments was approved via PUD 2011-2(R) with a maximum height of 58 feet by the City Council. Cortland Satori was approved via PUD 2017-2(R) with a maximum building height of 72 feet. The current request is relatively minor and is not expected to negatively impact the area any more than the 50 feet that is permitted by state statute.

## D. Project Application Review Committee (PARC) Comments:


The application was discussed at the May 27, 2025 PARC meeting by all relevant departments/divisions. There were no comments from staff.

## III. SUMMARY

### A. Findings:

Based on the information and analysis contained in this report, staff finds as follows:

1. The proposed use does not meet the intent of the Light Industrial (M-1) Zoning District, per Section 18-1524 of the Land Development Code; and
2. The request is generally inconsistent with the Goals, Objectives, and Policies of the Comprehensive Plan and the intent of the Land Development Code; and
3. Staff have reviewed the language within the Live Local Act and have determined said act applies to the subject site. The subject site is located within the "M-1" Light Industrial Zoning District which does not currently permit residential uses. The planned multi-family development is proposed to be developed in accordance with the Live Local Act, which allows residential developments so long as 40% of the units are affordable and must be processed through the city administratively as outlined in FSS 166.04151(7)(a).
4. The request for additional height will provide a more aesthetically pleasing exterior for the development.

  
Erica Lindquist, AICP, CFM  
Planning & Development Services Director

  
6/2/25  
Date

Nick A. Colonna, AICP, Community Development Administrator  
or Aaron Petersen, Asst. Community Development Administrator

6/2/25  
Date

**IV. ACTION**

**PLANNING AND ZONING COMMISSION – MOVE TO:**

**A. RECOMMEND APPROVAL:**

**B. RECOMMEND APPROVAL WITH THE FOLLOWING CONDITION(S):**

**C. RECOMMEND DENIAL:**

...of a Conditional Use for an increase in Maximum Height from 50 feet to 55 feet in the Light Industrial (M-1) Zoning District.

**V. ATTACHMENTS**

**Exhibit A:** Affidavit of Ownership

**Exhibit B:** Project Narrative

**Exhibit C:** Proposed Site Plan

**Exhibit D:** Survey

**Exhibit E:** Proposed Elevation Plans at 55 feet

**Exhibit F:** Proposed Elevation Plans if Under 50 feet

**Exhibit G:** Rendering of Roof at 55 feet

**Exhibit H:** Aerial Map

**Exhibit I:** Land Use Map

**Exhibit J:** Zoning Map

**Exhibit K:** Flood Insurance Rate Map





## **ADDENDUM**

**Case Number:** CU-0525-00010

### **PLANNING AND ZONING COMMISSION**

On July 3, 2025, the Planning and Zoning Commission **RECOMMENDED APPROVAL** of case number CU-0525-00010.

#### **V. ACTION**

##### **CITY COUNCIL– MOVE TO:**

**A. APPROVE.**

**B. APPROVE WITH CONDITIONS:**

**C. DENY.**

...of a Conditional Use for an increase in Maximum Height from 50 feet to 55 feet in the Light Industrial (M-1) Zoning District.

# Exhibit A: Affidavit of Ownership

## CITY OF PINELLAS PARK AFFIDAVIT OF OWNERSHIP

STATE OF FLORIDA - COUNTY OF PINELLAS:

NAMES OF ALL PROPERTY OWNERS:

Huntley Properties and Landholdings, LLC, a Florida limited liability company

being first duly sworn, depose(s) and say(s):

1. That (I am / we are) the owner(s) and record title holder(s) of the following described property:

ADDRESS OR GENERAL LOCATION:

South of Gateway Centre Boulevard and east of US 19

LEGAL DESCRIPTION OF PROPERTY: (Type legal directly on this sheet. If too lengthy, type on separate sheet titled "Exhibit A" and attach.)

See Exhibit "A" attached hereto and incorporated herein.

2. That this property constitutes the property for which an application is being made to the City of Pinellas Park, Florida for (NATURE OF REQUEST):  
Conditional Use approval for height.

3. That the undersigned (has / have) appointed and (does / do) appoint Kevin B. Reali, Esq. \*\* as (his / their) agent(s) to execute any petitions or other documents necessary to affect such application. **\*\*and all employees of Stearns Weaver Miller**

4. That this affidavit has been executed to induce the City of Pinellas Park, Florida, to consider and act on the above described property; to include City representatives entering upon the property to make inspections as are necessary to visualize site conditions and/or determine compatibility.

Huntley Properties and Landholdings, LLC,  
a Florida limited liability company

By: Dawn Huntley Mattox

SIGNED (PROPERTY OWNER 1)

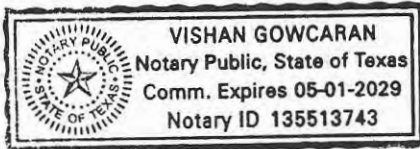
Print Name: Dawn Huntley Mattox

, Its Manager

SIGNED (PROPERTY OWNER 2)

STATE OF ~~FLORIDA~~ Texas

COUNTY OF Collin



(SEAL ABOVE)

The foregoing instrument was acknowledged before me by means of

☒ physical presence or ☐ online notarization, this 08 day

of May, 20 25.

By Dawn Huntley Mattox, Manager, who is  
(Name of person acknowledging and title of position)

personally known to me or who has produced

Tx Drivers license as identification and who DID / DID NOT  
(Type of identification)

take an oath.

Notary Public, Commission No. 135513743

[Signature]  
(Name of Notary- typed, printed or stamped)

## **EXHIBIT "A"**

A PARCEL OF LAND LYING IN THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 30 SOUTH, RANGE 16 EAST, PINELLAS COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL 4, GATEWAY CENTRE BUSINESS PARK, AS RECORDED IN PLAT BOOK 97, PAGES 1 THROUGH 13, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA;

LESS AND EXCEPT THAT PART LYING WITHIN THE LAND CONVEYED TO CITY OF PINELLAS PARK, BY DEED RECORDED IN OFFICIAL RECORDS BOOK 7422, PAGE 45, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA;

AND LESS AND EXCEPT THAT PART LYING WITHIN THE LAND CONVEYED TO APARTMENTS AT GATEWAY, LLC, BY WARRANTY DEED AND GRANT OF EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 17753, PAGE 1154, AS CORRECTED BY CORRECTIVE WARRANTY DEED AND GRANT OF EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 17960, PAGE 495, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA;

AND LESS AND EXCEPT THAT PART LYING WITHIN THE LAND ASSESSED UNDER PARCEL I.D. 22-30-16- 30374-000-0401, AND DESCRIBED BY THE PROPERTY APPRAISER AS "GATEWAY CENTRE BUSINESS PARK PART OF PARCEL 4 DESC BEG SW COR OF SE 1/4 OF NE 1/4 OF NE 1/4 OF SEC 27-30-16 TH N00D15'38"E 1327.91FT TH S89D40'58"E 100FT(S) TH S00D15'38"E 98FT(S) TH S28D28'14"E 646.82FT TH N89D42'56"W 149.15FT TH S00D17'23"W 40FT TH S28D28'14"E 287.29FT TH S00D16'08"W 40FT TH S89D43'55"E 43.87FT TH S00D16'08"W 40FT TH S28D28'14"E 287.19FT TH S00D14'44"E 40FT TH N89D44'54"W 581.78FT TO POB".

---





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company

HUNTLEY PROPERTIES AND LANDHOLDINGS, LLC

### Filing Information

<b>Document Number</b>	L21000276845
<b>FEI/EIN Number</b>	87-1209802
<b>Date Filed</b>	06/14/2021
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	CORPORATE MERGER
<b>Event Date Filed</b>	06/16/2021
<b>Event Effective Date</b>	NONE

### Principal Address

2033 W MCDERMOTT DR #320-228  
ALLEN, TX 75013

### Mailing Address

2033 W MCDERMOTT DR #320-228  
ALLEN, TX 75013

### Registered Agent Name & Address

HARTLEY, LINDA D  
101 E KENNEDY BLVD  
STE 3700  
TAMPA, FL 33602

### Authorized Person(s) Detail

#### **Name & Address**

Title MGR

HUNTLEY MATTOX, DAWN  
2033 W MCDERMOTT DR #320-228  
ALLEN, TX 75013

### Annual Reports

<b>Report Year</b>	<b>Filed Date</b>
2023	03/17/2023
2024	03/04/2024
2025	02/05/2025

**Document Images**

<a href="#"><u>02/05/2025 -- ANNUAL REPORT</u></a>	<a href="#">View image in PDF format</a>
<a href="#"><u>03/04/2024 -- ANNUAL REPORT</u></a>	<a href="#">View image in PDF format</a>
<a href="#"><u>03/17/2023 -- ANNUAL REPORT</u></a>	<a href="#">View image in PDF format</a>
<a href="#"><u>02/04/2022 -- ANNUAL REPORT</u></a>	<a href="#">View image in PDF format</a>
<a href="#"><u>06/16/2021 -- Merger</u></a>	<a href="#">View image in PDF format</a>
<a href="#"><u>06/14/2021 -- Florida Limited Liability</u></a>	<a href="#">View image in PDF format</a>

Florida Department of State, Division of Corporations

## **Exhibit B: Project Narrative**

### CONDITIONAL USE FOR ADDITIONAL HEIGHT

Parcel 4, Gateway Centre

#### NARRATIVE

##### **I. Property**

The subject property includes just over 24 acres within the Gateway Centre, as shown below, and identified by the Pinellas County Property Appraiser as parcels 22-30-16-30374-000-0400 and 22-30-16-30374-000-0402 (the “Property”).



##### **II. Background**

The Property is eligible for development under Section 166.04151(7), Florida Statutes, known as the “Live Local Act” (the “Act”). Pursuant to the Act, a site plan application has been submitted to the City of Pinellas Park (the “City”) for the development of multifamily apartments (the “Project”). Development of the Property under the Act is permitted up to heights of fifty feet. The Project is designed to, and can, comply with a maximum height requirement of fifty feet, but doing so requires a building with a shorter, mansard-style roof. The mansard style roof has a much lower pitch, which is a less aesthetically pleasing product with less desired (yet still effective) water-shedding characteristics.

##### **III. Request**

This application seeks Conditional Use Approval to construct a pitched roof for the Project with a maximum height of fifty-five feet. The actual building will be approximately 54'-6", and this maximum height is only needed in limited portions of the buildings. However, fifty-five feet is sought to ensure the



final design and engineering can fit within the request. The Conditional Use is limited to an additional five feet of height because the Project is administratively approvable at fifty feet of height. This request does not relate to uses, density, intensity, or design of the site, though the site is designed to minimize impacts to neighboring properties, as discussed below.

#### **IV. Justification**

Conditional use approval requires consideration of compatibility via the review criteria in Land Development Code Section 18-1531.6 (the “Review Criteria”), and compliance with the special requirements of Section 18-1531.10.A.38 (the “Special Requirements”).

The Special Requirements are limited to increasing setbacks by 50% regardless of the magnitude of additional height. The Property is zoned M-1, which has maximum setback requirements of 20 feet for the front yard and 10 feet for all other yards. Thus the maximum conditional use requirements are 30 feet for the front yard and 15 feet for all other yards. For the front yard, the Project exceeds the code requirement by 500% and the conditional use requirement by 400% with a minimum front yard setback that exceeds 120 feet. The Project exceeds the code required rear yard by 1,400% and the conditional use requirement by over 900%. The side setbacks are even larger, though there are no real compatibility issues to consider to the east or west. As such, the request greatly exceeds what the City’s code considers as acceptable mitigation for additional height, even though the additional height requested is minimal in magnitude and nature.

Although the Review Criteria does not focus on magnitude, the minimal magnitude and nature of this request are relevant in this case. From a “magnitude of request” perspective, the requested increase in height is minimal, five feet, and limited to certain portions of the pitched roof of the main buildings. To be sure, from almost all viewing angles, and certainly from those from public rights of way, the difference in height will be imperceptible. From a “nature of request” perspective, the requested increase in height is also minimal, as it is driven not by an increase in occupiable space or project density but purely by design aesthetics and stormwater functionality. The additional pitch of the roof makes the buildings more attractive and enables them to shed water more effectively than they could with a flat roof or a roof with a lower pitch. As such, the minimal nature of this request is applicable to the review criteria because the request will not create any compatibility concerns. Regardless, to ensure all criteria are considered, all of the Review Criteria are discussed, below.

#### **V. Section 18-1531.6 Review Criteria**

The request satisfies all of the Review Criteria. Responses to each of the criteria are focused on the additional height, and not the use and/or site plan itself because the use and site plan are permitted by the Act. This application is only a determination as to whether the additional height is permissible.

*(A) In granting an application for a conditional use, the City shall find that such approval will not adversely affect the public interest, and shall consider the compatibility criteria listed in Paragraph (C), below, in their decision.*

The request is minimal, and related to design aesthetics and functionality. It does not create any additional entitlements or public burden. Additionally, as discussed above, the request significantly exceeds the minimum setback requirements of both the underlying zoning and Special Requirements. Taken together,

there is little to no adverse effect, and whatever adverse impact there could be is more than mitigated by limiting the additional height to the pitched roof and the additional setbacks.

*(B) In evaluating an application for conditional use, the presence of nonconforming uses or buildings, substandard property maintenance, or substandard conditions in the neighborhood shall not be used to justify the granting of a conditional use. Additionally, the cumulative impact of the proposed use in proximity to a similar existing use shall be considered, as shall the scale, placement, orientation, design, appearance, and intensity of the conditional use and improvements to be associated with the conditional use, as applicable.*

This request is not related to any nonconformity or surrounding issue, this location does not create any cumulative impact concerns, and placement of the structures includes additional setbacks. The intensity of the use, while permitted by the Act, is appropriate for the Property as evidenced by the ability to lay out the site with or without this approval. Consideration of the design and appearance is the purpose of this application. The Conditional Use approval requested would permit development of a building with a better and more aesthetically pleasing design and better, more functional, stormwater functionality.

*(C)1. Whether the use and its proposed scale will be inconsistent with the established character of the immediate neighborhood, to the extent that such character is consistent with the Comprehensive Plan and the provisions of the applicable zoning district(s).*

The Project is eligible for administrative approval under the Act, Land Development Code, and Comprehensive Plan. The property to the west, north and east are share similar/compatible zoning districts, thus the request does not create any compatibility concerns for those properties. The properties to the south are mobile home parks, which are a compatible/comparable use to multifamily, and are developed at a compatible density. Those properties take access from the south, which is opposite the Property, such that the only compatibility concern would be the minimal increase in height, and any incompatibility concerns are negated by the large setbacks provided and the minimal nature of the increase in height requested.

*(C)2. Whether the use will diminish the use or enjoyment of other properties and living or working conditions in the neighborhood.*

The minimal increase in height will have no impact on the other properties because all of the nearby properties that share access and functionality with the Property (namely the properties that are in the area and use Gateway Centre Boulevard for primary or secondary access) are commercial, office, light industrial, or similar multifamily uses.

*(C)3. Whether the use will impede the normal and orderly development and improvement of surrounding properties for uses permitted in their respective zoning districts and in a manner consistent with the Comprehensive Plan.*

The minimal increase in height is not likely to impede development of surrounding properties in any way.

*(C)4. Whether the establishment, maintenance or operation of the use will be detrimental to, or endanger, the public health, safety, comfort, or general welfare as a result of hours of operation,*

*arrangement of uses on the site, noise, vibration, emission or pollutant, glare, odor, dust, traffic congestion, attractive nuisance, or other condition.*

The minimal increase in height will have no impact on noise, vibration, emission or pollutant, glare, odor, dust, traffic congestion, attractive nuisance, or other condition. The arrangement on site provides for significantly increased setbacks to ensure the additional height will not be detrimental to the public health, safety, comfort, or general welfare.

*(C)5. Whether the land area is sufficient, appropriate and adequate for the use and reasonably anticipated operations and expansion thereof.*

The Project can be built, with or without the additional height, therefore the land area is appropriate for the request.

*(C)6. Whether the use and associated improvements will adversely affect a known archaeological, historical, cultural, or landscape resource.*

This criterion is not applicable

*(C)7. Whether the particular traffic generation characteristics of the proposed use, including the type of vehicular traffic associated with such uses is compatible with the traffic generation characteristics of other uses permitted in the zoning district(s) applicable to the neighborhood.*

The additional height has no impact on the traffic generation of the Project.

## **VI. Conclusion**

The purpose of the conditional use procedure is to ensure “certain characteristics and potential impacts on the surrounding neighborhood [are] appropriate at particular locations within a zoning district, and/or [appropriate] only when subject to additional regulations set forth herein.” Land Development Code Section 18-1532.1. City Council conducts an “individual review of their location, design, scale, configuration, operation, and other characteristics necessary to ensure that the use is appropriate at a particular location.” *Id.* As discussed herein, this request does exactly that: it is a minimal request, with little to no impacts. As discussed with the Review Criteria: the additional height does not create any compatibility concerns.



# HANOVER GATEWAY

## PRELIMINARY SITE PLAN

SECTION 22, TOWNSHIP 30 S, RANGE 16 E  
PINELLAS PARK, FLORIDA

LEGAL DESCRIPTION

DESCRIPTION: (FROM TITLE COMMITMENT)

A PARCEL OF LAND LYING IN THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 30 SOUTH, RANGE 16 EAST, PINELLAS COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

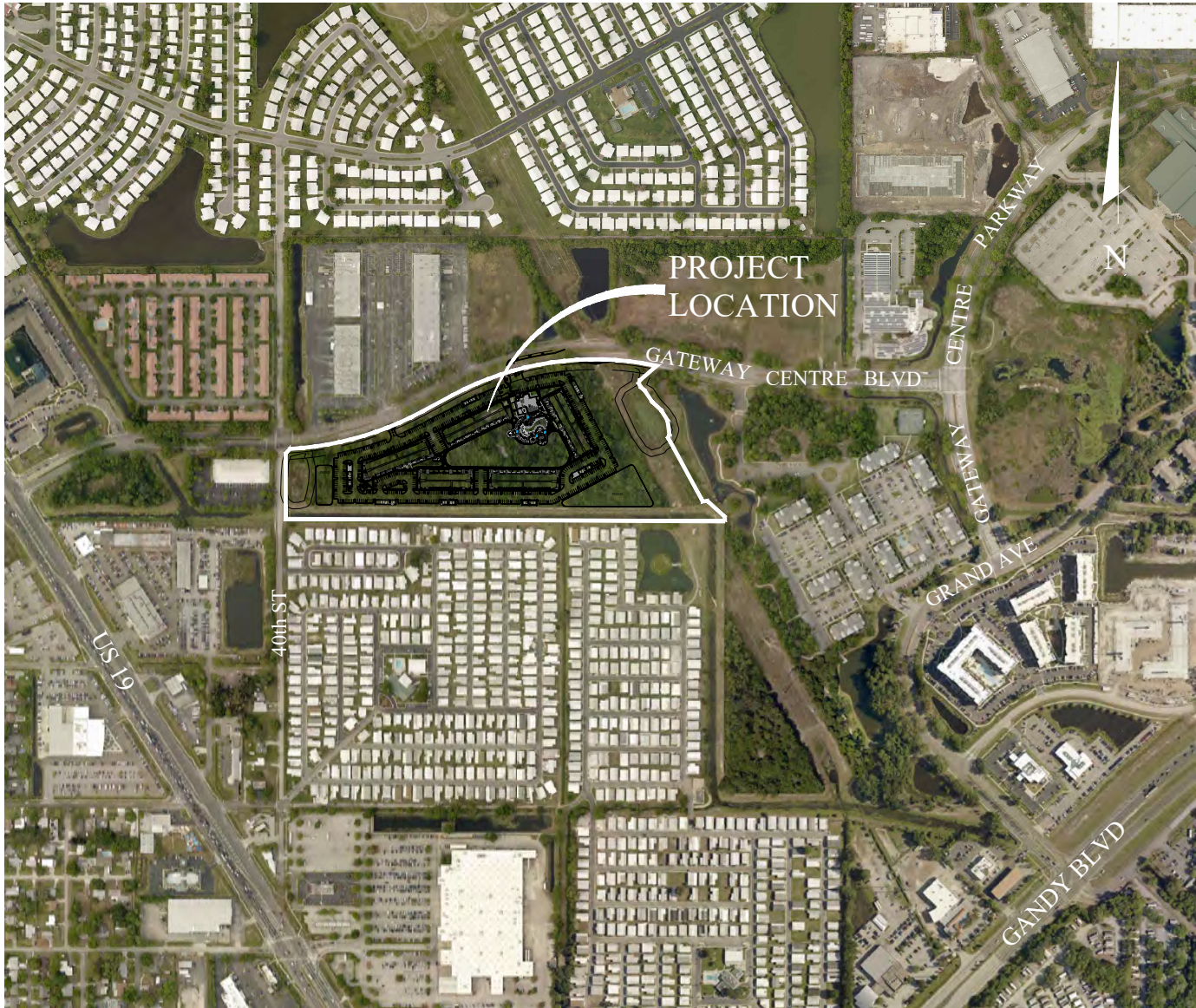
PARCEL 4, GATEWAY CENTRE BUSINESS PARK, AS RECORDED IN PLAT BOOK 97, PAGES 1 THROUGH 13, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA;

1. LESS AND EXCEPT THAT PART LYING WITHIN THE LAND CONVEYED TO CITY OF PINELLAS PARK, BY DEED RECORDED IN OFFICIAL RECORDS BOOK 7422, PAGE 45, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA;

2. AND LESS AND EXCEPT THAT PART LYING WITHIN THE LAND CONVEYED TO APARTMENTS AT GATEWAY, LLC, BY WARRANTY DEED AND GRANT OF EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 17753, PAGE 1154, AS CORRECTED BY CORRECTIVE WARRANTY DEED AND GRANT OF EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 17960, PAGE 495, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA;

3. AND LESS AND EXCEPT THAT PART LYING WITHIN THE LAND ASSESSED UNDER PARCEL I.D. 22-30-16- 30374-000-0401, AND DESCRIBED BY THE PROPERTY APPRAISER AS "GATEWAY CENTRE BUSINESS PARK PART OF PARCEL 4 DESC BEG SW COR OF SE 1/4 OF NE 1/4 OF SEC 27-30-16 TH N00D15°38'E 1327.91FT TH S89D40°58'E 100FT(S) TH S00D15°38'E 98FT(S) TH S28D28°14'E 646.82FT TH N89D42°56'W 149.15FT TH S00D17°23'W 40FT TH S28D28°14'E 287.29FT TH S00D16°08'W 40FT TH S89D43°55'E 43.87FT TH S00D16°08'W 40FT TH S28D28°14'E 287.19FT TH S00D14°44'E 40FT TH N89D44°54'W 581.78FT TO POB",

LOCATION MAP



DRAWING INDEX

SHEET	TITLE
C1	COVER SHEET
C2	PRELIMINARY SITE PLAN

SITE DATA TABLE

SITE ADDRESS:	GATEWAY CENTRE BOULEVARD, PINELLAS PARK FL 33782		
PARCEL ID:	22-30-16-30374-000-0400; 22-30-16-30374-000-0402		
PROPOSED USE:	384 UNITS APARTMENT COMPLEX		
FUTURE LAND USE MAP DESIGNATION:	INDUSTRIAL LIMITED (IL) MAJOR ACTIVITY CENTER		
EXISTING ZONING:	LIGHT INDUSTRIAL M-1		
TOTAL LAND AREA:	1,061,028 SF (24.36 AC)		
SITE DATA TOTALS	EXISTING	PROPOSED	MIN/MAX REQUIRED
BUILDING FOOTPRINT:	N/A	119,246 SF	N/A
PAVEMENT:	3,516 SF	292,716 SF	N/A
IMPERVIOUS:	3,516 SF (0.3%)	411,962 SF (38.8%)	75% MAX
OPEN SPACE:	1,057,512 SF (99.7%)	649,066 SF (61.2%)	25% MIN
VUA:	N/A	203,080 SF	N/A
LOT AREA TOTAL:	1,061,028 SF (24.36 AC)	1,061,028 SF (24.36 AC)	15,000 SF MIN.
DENSITY / INTENSITY	N/A	384 UNITS (15.8 UNITS/ACRE)	573 UNITS (18 UNITS/ACRE)
PARKING SPACES	N/A	575 SPACES MIN.	205 1 BR @ 1.5 SPACES/BR = 308 SPACES 131 2 BR @ 2 SPACES/BR = 262 SPACES 48 3 BR @ 2 SPACES/BR = 96 SPACES TOTAL SPACES REQUIRED = 666 SPACES
BUILDING HEIGHT	N/A	50 FT	50 FT MAX
BUILDING SETBACKS:			
FRONT (NORTH)	N/A	50.0 FT (GARAGE) 120.2 FT (APARTMENT)	20 FT
FRONT (WEST)	N/A	286.1 FT (GARAGE) 361.6 FT (APARTMENT)	10 FT (SECONDARY FRONT)
SIDE (EAST)	N/A	262.8 FT (GARAGE) 342.1 (APARTMENTS)	5 FT
REAR (SOUTH)	N/A	69.5 FT (GARAGE) 143.7 (APARTMENT)	5 FT
FLOOD ZONE: THIS SITE LIES WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), FLOOD ZONE "X" (0.2% ANNUAL CHANCE FLOOD HAZARD), FLOOD ZONE "AE" (EL 11) (SPECIAL FLOOD HAZARD AREAS WITH BASE FLOOD ELEVATION) AND FLOOD ZONE "AE" (EL 12) (SPECIAL FLOOD HAZARD AREAS WITH BASE FLOOD ELEVATION) AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR PINELLAS COUNTY, COMMUNITY PANEL NO. 12103C0202J AND 12103C0206J, EFFECTIVE AUGUST 24, 2021.			



PREPARED FOR:  
**HANOVER COMPANY**  
1780 SOUTH POST OAK LANE  
HOUSTON, TX 77056



**Gulf Coast Consulting, Inc.**  
Land Development Consulting  
ENGINEERING TRANSPORTATION PLANNING PERMITTING  
13825 ICOT BLVD., SUITE 605  
Clearwater, Florida 33760  
Phone: (727) 524-1818 Fax: (727) 524-6090  
[www.gulfcoastconsultinginc.com](http://www.gulfcoastconsultinginc.com)

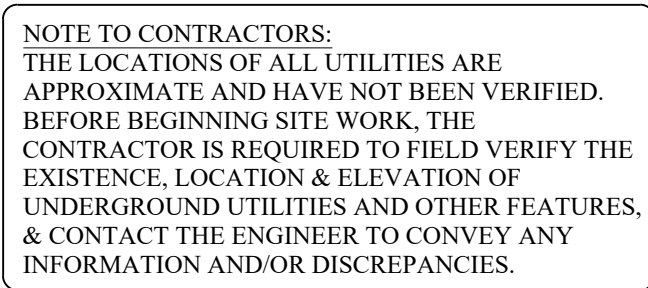
PROJECT DIRECTORY

OWNER:	HUNTLEY PROPERTIES & LANDHOLDINGS LLC 2033 W McDERMOTT DRIVE, SUITE 320-228 ALLEN, TX 75013-4694
DEVELOPER:	HANOVER COMPANY 1780 SOUTH POST OAK LANE HOUSTON, TX 77056 PHONE: 713-267-2100 ATTN: LAUREN RICHTER GOEBEL
CIVIL ENGINEER:	GULF COAST CONSULTING, INC. 13825 ICOT BOULEVARD, SUITE 605 CLEARWATER, FL 33760 PHONE: 727-524-1818 ATTN: MATTHIAS D. SYLVERAIN, P.E. 91730
SURVEYOR:	STANTEC 6920 PROFESSIONAL PARKWAY EAST SARASOTA, FL 34240-8414 PHONE: 941-907-6900

MATTHIAS D. SYLVERAIN  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
LICENSE NO. 91730  
  
THIS ITEM HAS BEEN DIGITALLY  
SIGNED AND SEALED BY  
MATTHIAS D. SYLVERAIN  
ON THE DATE INDICATED HERE.  
  
PRINTED COPIES OF THIS DOCUMENT  
ARE NOT CONSIDERED SIGNED AND  
SEALED AND THE SIGNATURE MUST BE  
VERIFIED ON ANY ELECTRONIC COPIES.

20-012.01  
DATE: 02/25/2025  
HANOVER GATEWAY





LINE TABLE		
LINE	BEARING	DISTANCE
L10	S47°28'38"E	54.53'
L11	S31°54'10"E	57.40'
L12	S07°16'05"E	66.82'
L13	S27°40'03"W	14.09'
L14	S28°28'14"E	339.14'
L15	N83°38'58"E	21.81'
L16	S47°44'06"E	110.15'
L17	S00°15'38"W	20.81'
L18	N89°40'42"W	99.66'

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD	CHORD BEARING
C1	1,472.00'	24°59'48"	642.19'	637.11'	N74°16'56"E
C2	1,392.41'	39°51'40"	968.71'	949.29'	N81°42'52"E

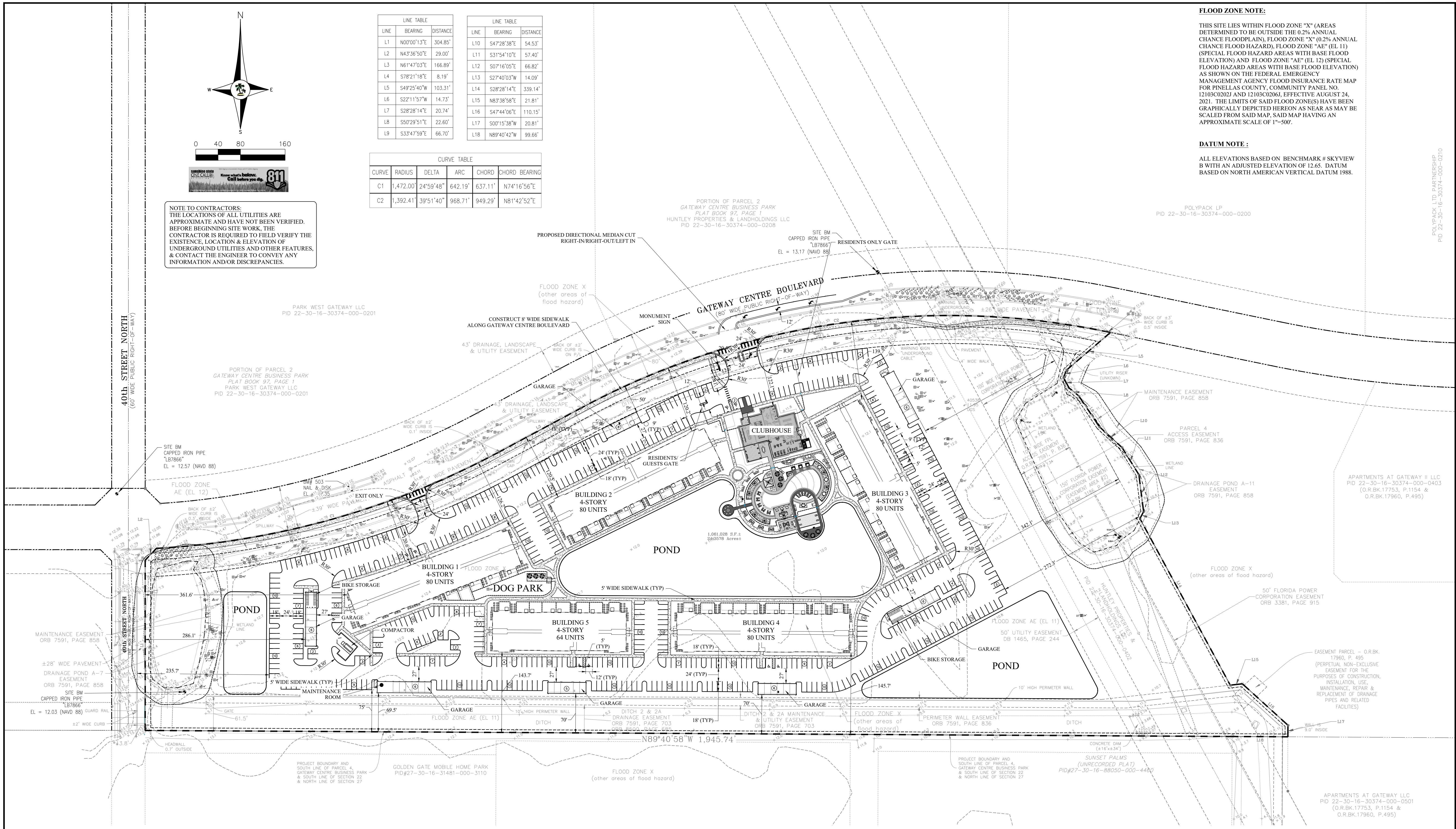
PORTION OF PARCEL 2  
GATEWAY CENTRE BUSINESS PARK  
PLAT BOOK 97, PAGE 1  
HUNTLEY PROPERTIES & LANDHOLDINGS LLC  
PID 22-30-16-30374-000-0208

SITE BM  
CAPPED IRON PIPE  
"LB7866"  
EL = 13.17 (NAVD 88)

POLYPACK LP  
PID 22-30-16-30374-000-0200

**DATUM NOTE :**

ALL ELEVATIONS BASED ON BENCHMARK # SKYVIEW  
B WITH AN ADJUSTED ELEVATION OF 12.65. DATUM  
BASED ON NORTH AMERICAN VERTICAL DATUM 1988.

POLYPACK LTD PARTNERSHIP  
PID 22-30-16-30374-000-0210

DESIGNED \_\_\_\_\_ MDS  
DRAWN \_\_\_\_\_ MKC  
CHECKED \_\_\_\_\_ MDS  
Q.C. \_\_\_\_\_



**Gulf Coast Consulting, Inc.**  
Land Development Consulting  
ENGINEERING TRANSPORTATION PLANNING PERMITTING  
13825 ICOT BLVD., SUITE 605  
Clearwater, Florida 33760  
Phone: (727) 524-1818 Fax: (727) 524-6090  
[WWW.GULFCOASTCONSULTINGINC.COM](http://WWW.GULFCOASTCONSULTINGINC.COM)

PREPARED FOR:

HANOVER COMPANY  
1780 SOUTH POST OAK LANE  
HOUSTON, TX 77056

SHEET DESCRIPTION:

# HANOVER GATEWAY

## PRELIMINARY SITE PLAN

[illegible]

MATTHIAS D. SYLVERAIN  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
LICENSE NO. 91730

THIS ITEM HAS BEEN DIGITALLY  
SIGNED AND SEALED BY  
MATTHIAS D. SYLVERAIN,  
ON THE DATE INDICATED HEREIN.

PRINTED COPIES OF THIS DOCUMENT  
ARE NOT CONSIDERED SIGNED  
OR SEALED AND THE SIGNATURE MUST  
BE VERIFIED ON ANY ELECTRONIC COPY.

THESE PLANS MAY NOT BE COPIED OR  
MODIFIED WITHOUT WRITTEN PERMISSION  
FROM GULF COAST CONSULTING, INC.

---

MATTHIAS D. SYLVERAIN, P.E. #91730

NOT VALID UNLESS SIGNED & EMBOSSED  
BY A REGISTERED ENGINEER  
GULF COAST CONSULTING, INC.  
CERTIFICATE OF AUTHORIZATION No. 9774

JOB NO.  
20-012.01

DATE:  
02/25/25

C2



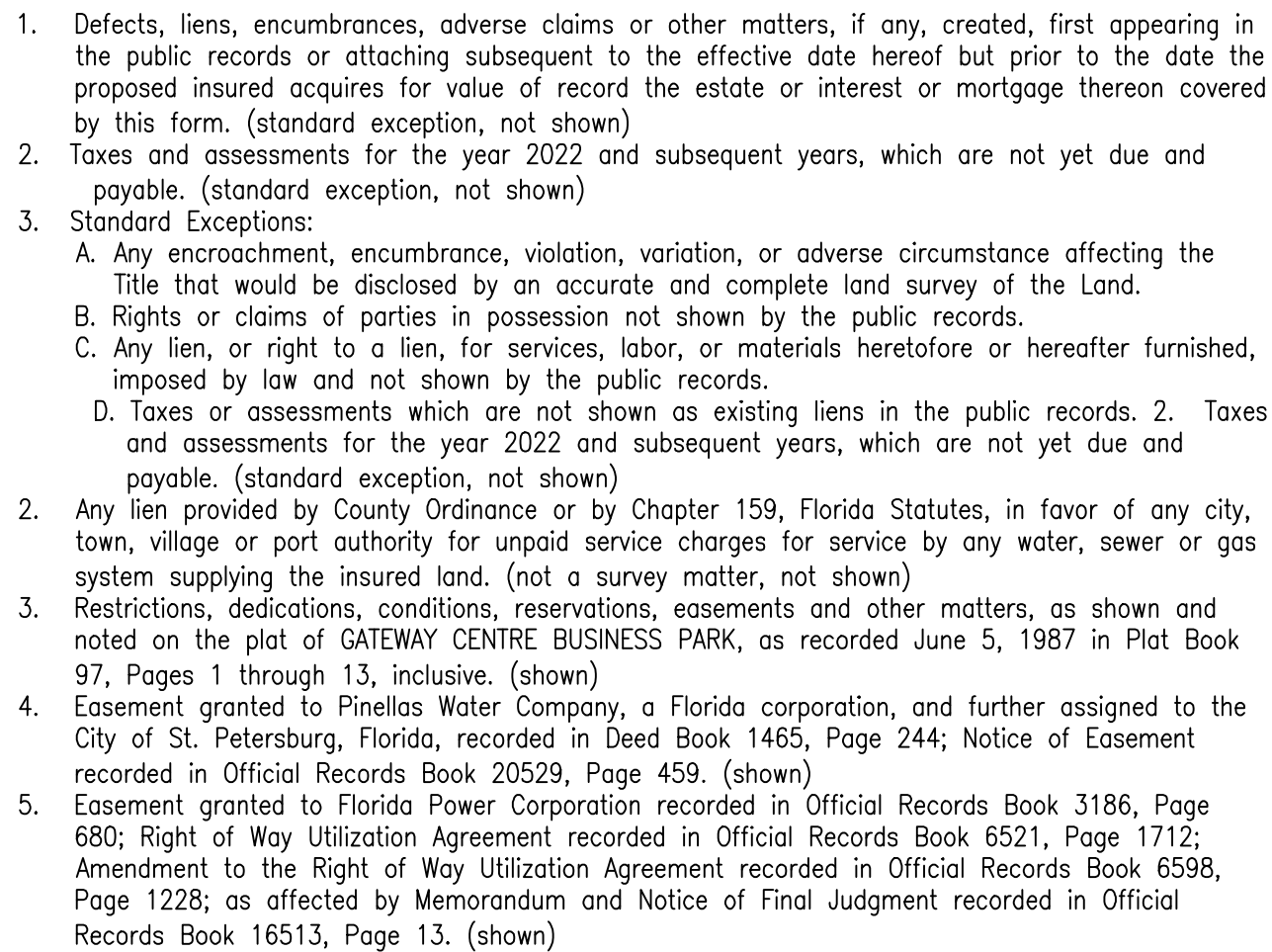
AND LESS AND EXCEPT THAT PART LYING WITHIN THE LAND ASSESSED UNDER PARCEL LD. 22-30-16 30374-000-0401, AND DESCRIBED BY THE PROPERTY APPRAISER AS "GATEWAY CENTRE BUSINESS PARK PART OF PARCEL 4 DESC BEG SW COR OF SE 1/4 OF NE 1/4 OF NE 1/4 OF SEC 27-30-16 TH N00D15'38"E 1327.91FT TH S89D04'58"E 100T(S) TH S00D15'38"E 98T(S) TH S28D28'14"E 646.82FT TH N89D42'56"W 149.15FT TH S00D17'23"W 40FT TH S28D28'14"E 287.29FT TH S00D16'08"W 40FT TH S89D43'55"E 43.87FT TH S00D16'08"W 40FT TH S28D28'14"E 287.19FT TH S00D14'44"E 40FT TH S89D44'54"W 581.78FT TO POB".

POLYPACK LP  
PID 22-30-16-30374-000-0200

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LINE TABLE		
LINE	BEARING	DISTANCE
L10	S47°28'38"E	54.53'
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L15	N83°38'58"E	21.81'
L16	S47°44'06"E	110.15'
L17	S00°15'38"W	20.81'
L18	N89°40'42"W	99.66'

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD	CHORD BEARING
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C2	1,392.41'	39°51'40"	968.71'	949.29'	N81°42'52"E

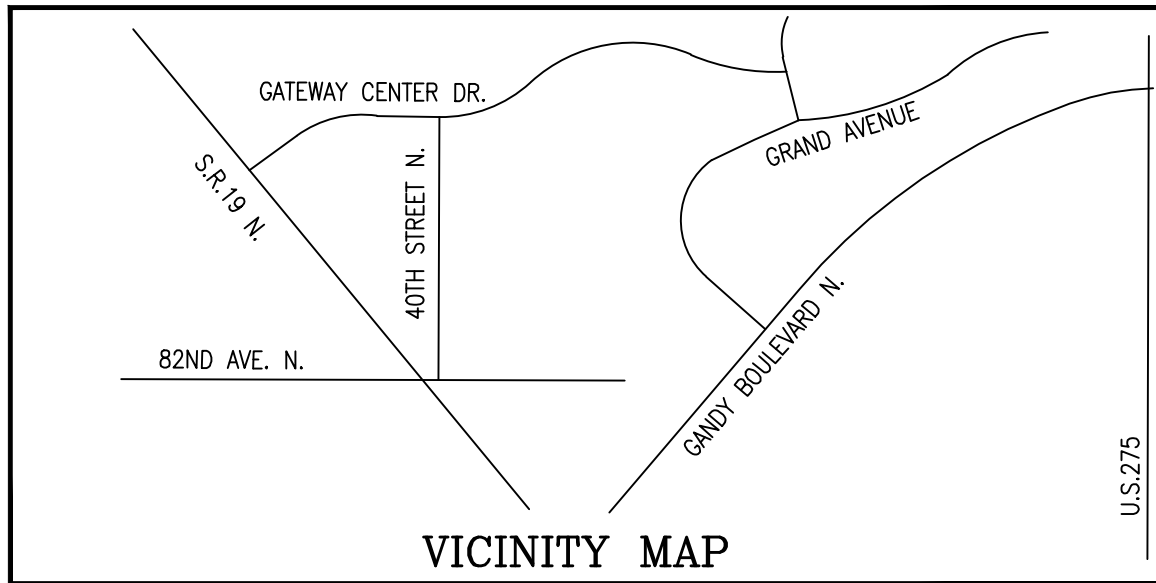


11. Easement granted in Warranty Deed and Grant of Easement recorded in Official Records Book 17753, Page 1154 as correct by Corrective Warranty Deed and Grant of Easement recorded in Official Records Book 17960, Page 495. (shown)

☐	=	BLOW OFF
☐	=	STORM INLET
☐	=	STORM MANHOLE
☐	=	SANITARY MANHOLE
☐	=	CLEAN OUT
☐	=	VALVE BOX
☐	=	WATER RISER/HOSE BIBB
☐	=	FIRE HYDRANT
☐	=	WELL
☐	=	METER
☐	=	FIRE DEPT. CONNECTION
⑥	=	TITLE COMMITMENT ITEM

13. Rights of tenants occupying all or part of the insured land under unrecorded leases or rental agreements (standard exception, blanket in nature, not shown)

NOTE: This Certification is only for the lands as described. It is not a certification of title, zoning, easements or freedom of encumbrances. This Sketch of Survey and Certification are "not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper."



					ACTIVITY	INITIALS/EMP. NO.	DATE
					COMPUTED BY:	JRJ	03/04/22
					DRAWN BY:	JWB/89374	1/6/25
					CHECKED BY:	RRC	1/10/25
					CLOSED BY:		
Δ REV. NO.	REVISION			DATE	DRAWN BY/EMP.NO.	CHECKED BY/EMP.NO.	FIELD BOOK/PAGE: 742/38 CHIEF: WY/MW



6920 Professional Parkway East, Sarasota, FL 34240-8414  
Phone 941-907-6900 • Fax 941-907-6910  
Certificate of Authorization #27013 • [www.stantec.com](http://www.stantec.com)  
Licensed Business Number 7866

TITLE: ALTA/NSPS BOUNDARY, TOPGRAPHIC & TREE SURVEY OF  
PORTION OF PARCEL 4, GATEWAY CENTRE BUSINESS PARK LOCATED IN  
SECTION 22, TOWNSHIP 30 SOUTH, RANGE 16 EAST  
PINELLAS COUNTY, FLORIDA

DATE: 04/22/25	CLIENT: HANOVER COMPANY				
HORIZONTAL SCALE: 1" = 100'	1780 S. Post Oak Lane Houston, TX 77056				
SHEET: TWP. R1E 22827-30S-18E					
GROSS REFERENCE FILE NO.	PROJECT NO.	TASK CODE	SHEET NUMBER	DRAWING/FILE NUMBER	
215618727	215618731	210	1 OF 4	215618__v-spt01	

Jan 6, 2025 - 13:58:49 jbrannon\\U:\21561\_\_\_\_\survey\drawing\215618\_\_\_\_v-spsu01.dwg



# TOPOGRAPHIC SYMBOL LEGEND

□	=	4" x 4" x 2' CONCRETE MONUMENT SET "LB#7866"
■	=	FOUND CONCRETE MONUMENT (AS NOTED)
●	=	FOUND IRON ROD (AS NOTED)
○	=	FOUND IRON PIPE (AS NOTED)
●	=	FOUND CAPPED IRON ROD (AS NOTED)
○	=	5/8" x 18" IRON ROD SET "LB#7866"
■	=	FOUND CHISEL SQUARE
+	=	NAIL FOUND (AS NOTED)
○	=	NAIL & DISK FOUND (AS NOTED)
○	=	NAIL & DISK SET "LB#7866"
●	=	BENCH MARK

=====	=	FEMA FLOOD ZONE LINE
-----	=	RIGHT-OF-WAY
=====	=	PROPERTY LINE
=====	=	EDGE OF PAVEMENT
=====	=	EDGE OF WALK/CONCRETE
-----	=	CENTERLINE OF SWALE
x x x x x	=	FENCE LINE
/// /// /// ///	=	OVERHEAD UTILITY LINES
-----	=	TOP OF BANK LINE
-----	=	SECTION LINE
-----	=	EASEMENT LINE
-----	=	CENTER LINE

0	PEDESTRIAN CROSSING
1	PARKING METER
2	TRAFFIC CONTROL BOX
3	IRRIGATION CONTROL BOX
4	SPRINKLER HEAD
5	MONITOR WELL
6	MAIL BOX
7	METER POLE
8	YARD DRAIN
9	MITERED END
A	FLOOD LIGHT
B	SIGN
C	TELEVISION CABLE RISER
D	TELEPHONE RISER/METER
E	TELEPHONE MANHOLE
F	GAS RISER/METER
G	ELECTRICAL PANEL
H	ELECTRIC MANHOLE
I	ELECTRICAL HAND HOLE
J	ELECTRICAL TRANSFORMER
K	ELECTRIC RISER
L	LIGHT POLE
M	TRAFFIC LIGHT POLE
N	UTILITY POLE
O	CONCRETE UTILITY POLE
P	GUY ANCHOR

Ⓚ	=	BLOW OFF
Ⓛ	=	STORM INLET
Ⓜ	=	STORM MANHOLE
Ⓝ	=	SANITARY MANHOLE
Ⓟ	=	CLEAN OUT
Ⓡ	=	VALVE BOX
Ⓢ	=	WATER RISER/HOSE BIBB
Ⓣ	=	FIRE HYDRANT
Ⓤ	=	WELL
Ⓥ	=	METER
Ⓦ	=	FIRE DEPT. CONNECTION

ABBREVIATIONS LEGEND:  
 O.R.B.=OFFICIAL RECORDS BOOK  
 O.R.I.=OFFICIAL RECORDS  
       INSTRUMENT NUMBER  
 P.B. = PLAT BOOK  
 P. = PAGE  
 INV.EL.=PIPE INVERT ELEVATION  
 EL.=ELEVATION  
 RCP=REINFORCED CONCRETE PIPE  
 PVC = POLYVINYL CHLORIDE PIPE  
 WL = WETLAND  
 NP = NORMAL POOL  
 W.C.=WETLAND WASH WATER

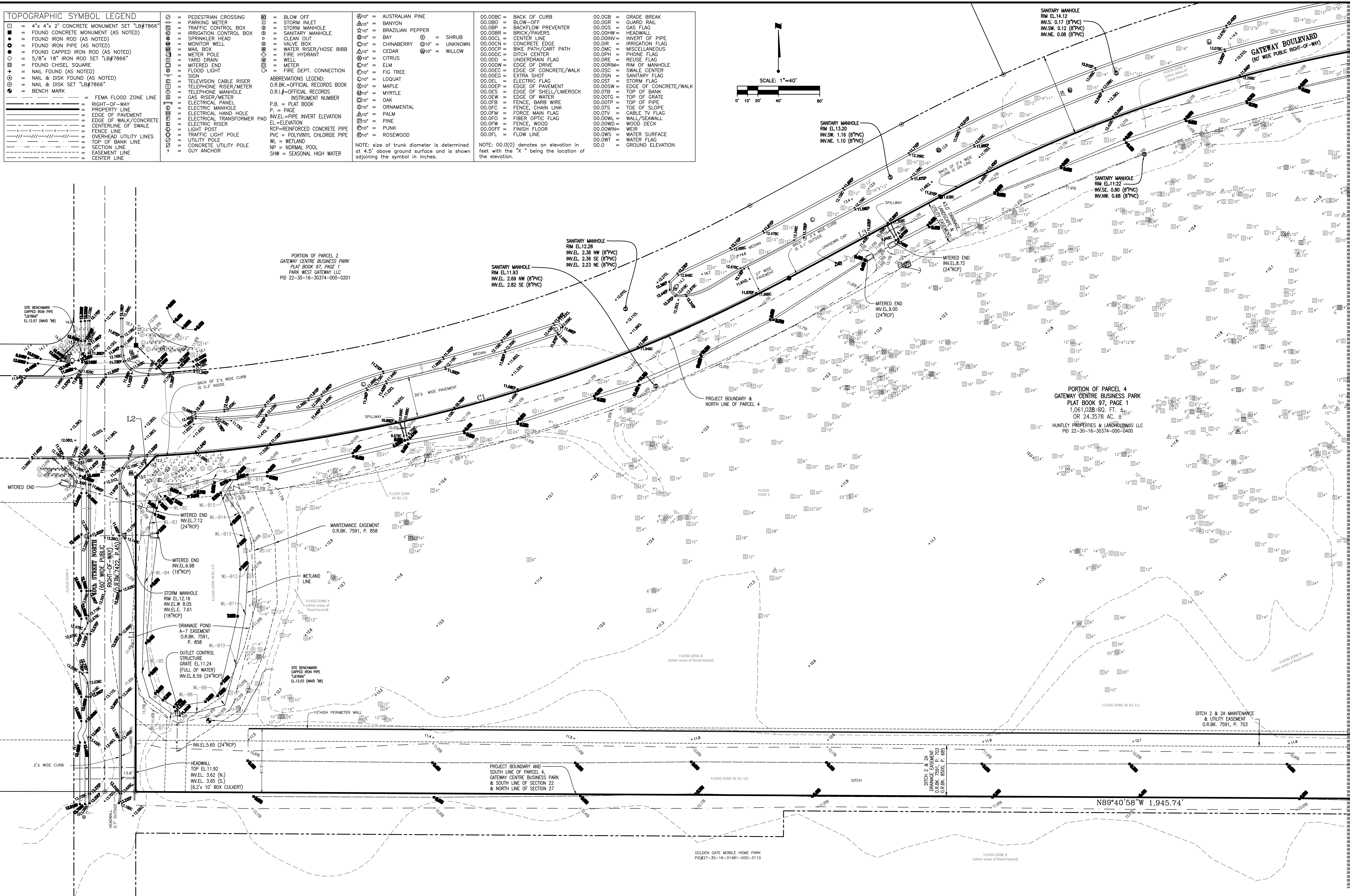
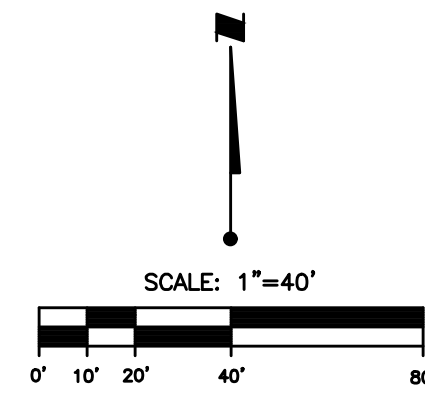
Ⓐ <sup>10'</sup>	= AUSTRALIAN PINE	
△ <sup>10'</sup>	= BANYAN	
★ <sup>10'</sup>	= BRAZILIAN PEPPER	
⊙ <sup>10'</sup>	= BAY	⊙ <sup>10'</sup> = SHRUB
⊙ <sup>10'</sup>	= CHINABERRY	⊙ <sup>10'</sup> = UNKNOWN
△ <sup>10'</sup>	= CEDAR	⊙ <sup>10'</sup> = WILLOW
⊙ <sup>10'</sup>	= CITRUS	
⊙ <sup>10'</sup>	= ELM	
⊙ <sup>10'</sup>	= FIG TREE	
⊙ <sup>10'</sup>	= LOQUAT	
⊙ <sup>10'</sup>	= MAPLE	
⊙ <sup>10'</sup>	= MYRTLE	
⊙ <sup>10'</sup>	= OAK	
⊙ <sup>10'</sup>	= ORNAMENTAL	
△ <sup>10'</sup>	= PALM	
⊙ <sup>10'</sup>	= PINE	
⊙ <sup>10'</sup>	= PUNK	
⊙ <sup>10'</sup>	= ROSEWOOD	

NOTE: size of trunk diameter is determined at 4.5' above ground surface and is shown

00.00BC	BACK OF CURB
00.00BF	BLOW OFF
00.00BP	BACKFLOW PREVENTER
00.00BR	BRICK/PAVERS
00.00CL	CENTER LINE
00.00CE	CONCRETE EDGE
00.00CP	BIKE PATH/CART PATH
00.00DC	DITCH CENTER
00.00DF	UNDERDRAIN FLAG
00.00DW	EDGE OF DRAIN
00.00EC	EDGE OF CONCRETE/WALK
00.00EG	EXTRA SHOT
00.00EL	ELECTRIC FLAG
00.00EP	EDGE OF PAVEMENT
00.00ES	EDGE OF SHELL/LIMEROCK
00.00EW	EDGE OF WATER
00.00FW	FENCE FLAG WIRE
00.00FC	FENCE, CHAIN LINK
00.00FM	FORCE MAIN FLAG
00.00FO	FIBER OPTIC FLAG
00.00FG	FENCE, WOOD
00.00FF	FINISH FLOOR
00.00FL	FLOW LINE

Note: 00.0(0) denotes an elevation in feet with the "X" being the location of

00.0CB	=	GRADE BREAK
00.0CC	=	GUARD RAIL
00.0CG	=	GAS FLAG
00.0HW	=	HEADWALL
00.0INV	=	INVERT OF PIPE
00.0IR	=	IRRIGATION FLAG
00.0MC	=	MISCELLANEOUS
00.0PH	=	PHONE FLAG
00.0RE	=	REUSE FLAG
00.0RM	=	RIM OF MANHOLE
00.0SC	=	SWALE CENTER
00.0SN	=	SANITARY FLAG
00.0ST	=	STORM FLAG
00.0TB	=	EDGE OF CONCRETE/WALK
00.0TW	=	TOP OF BANK
00.0TG	=	TOP OF GRATE
00.0TP	=	TOP OF PIPE
00.0TS	=	TOE OF SLOPE
00.0TV	=	CABLE TV FLAG
00.0WL	=	WALL/SEAWALL
00.0WD	=	WOOD DECK
00.0WIN	=	WEIR
00.0WS	=	WATER SURFACE
00.0WT	=	WATER FLAG
00.0	=	GROUND ELEVATION



						ACTIVITY	INITIALS/EMP.NO.	DATE
						COMPUTED BY:	JRJ	03/04/22
						DRAWN BY:	JWB/89374	1/6/25
						CHECKED BY:	RRC	1/10/25
						CLOSED BY:		
REV. NO.	REVISION	DATE	DRAWN BY/EMP.NO.	CHECKED BY/EMP.NO.	FIELD BOOK/PAGE:	742/38	CHIEF:	WY/MW

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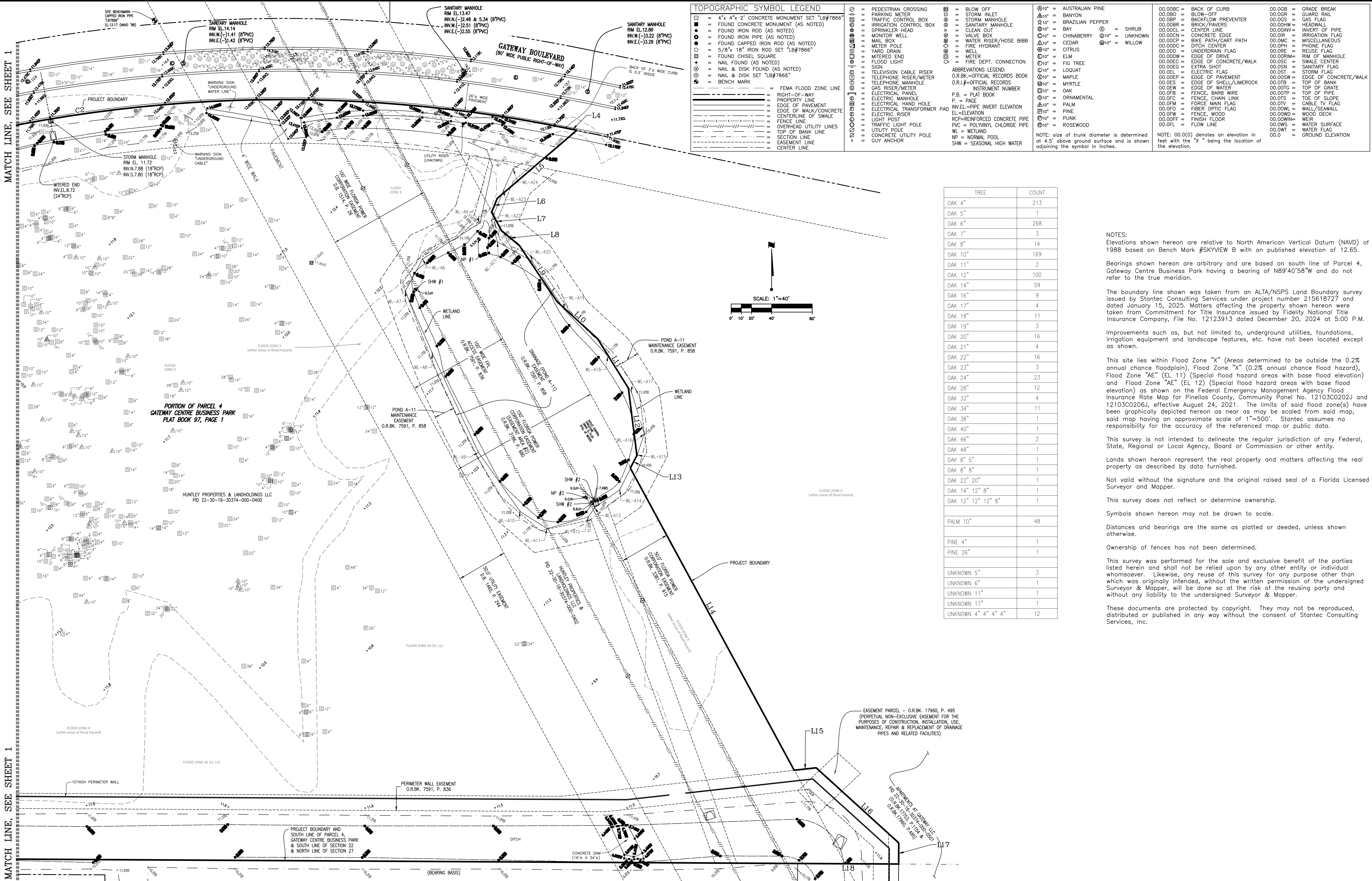
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PORTION OF PARCEL 4, GATEWAY CENTRE BUSINESS PARK LOCATED IN  
SECTION 22, TOWNSHIP 30 SOUTH, RANGE 16 EAST  
PINELLAS COUNTY, FLORIDA

DATE: 04/22/25	CLIENT: HANOVER R.S. LIMITED PARTNERSHIP				
HORIZONTAL SCALE: 1" = 40'	1780 S. Post Oak Lane Houston, TX 77056				
SEC. TWO: REG. 22-305-16					
GROSS REFERENCE FILE NO.	PROJECT NO:	TASK CODE:	SHEET NUMBER:	DRAWING/FILE NUMBER:	
215618727	215618731	210	2 of 4	215618727v-spt01	



MATCH LINE, SEE SHEET 1

MATCH LINE, SEE SHEET 1



DATE: 04/22/25 HORIZONTAL SCALE: 1" = 40' SHEET: 22-305-16E CROSS REFERENCE FILE NO.: 215618727				CLIENT: HANOVER R.S. LIMITED PARTNERSHIP 1780 S. Post Oak Lane Houston, TX 77056				PROJECT NO.: 215618731 TASK CODE: 210 SHEET NUMBER: 3 OF 4 DRAWING/FILE NUMBER: 215618731v-spt001			
ACTIVITY: COMPUTED BY: JRJ DRAWN BY: JWB/89374 CHECKED BY: RRC CLOSED BY: 1/10/25				INITIALS/EMP.NO.: DATE: 03/04/22 1/6/25 1/10/25				FIELD BOOK/PAGE: 742/38 CHIEF: WY/MW			
Stantec 6920 Professional Parkway East, Sarasota, FL 34240-8414 Phone 941-907-6900 • Fax 941-907-6910 Certificate of Authorization #27013 • www.stantec.com Licensed Business Number 7866				TITLE: TOPOGRAPHIC & TREE SURVEY OF A PORTION OF PARCEL 4, GATEWAY CENTRE BUSINESS PARK LOCATED IN SECTION 22, TOWNSHIP 30 SOUTH, RANGE 16 EAST PINELLAS COUNTY, FLORIDA				DATE: 04/22/25 HORIZONTAL SCALE: 1" = 40' SHEET: 22-305-16E CROSS REFERENCE FILE NO.: 215618727			

NOTES:  
Elevations shown hereon are relative to North American Vertical Datum (NAVD) of 1988 based on Bench Mark #SKYVIEW B with an published elevation of 12.65.

Bearings shown hereon are arbitrary and are based on south line of Parcel 4, Gateway Centre Business Park having a bearing of N89°40'58"W and do not refer to the true meridian.

The boundary line shown was taken from an ALTA/NSPS Land Boundary survey issued by Stantec Consulting Services under project number 215618727 and dated January 15, 2025. Matters affecting the property shown hereon were taken from Commitment for Title Insurance issued by Fidelity National Title Insurance Company, File No. 12123913 dated December 20, 2024 at 5:00 P.M.

Improvements such as, but not limited to, underground utilities, foundations, irrigation equipment and landscape features, etc. have not been located except as shown.

This site lies within Flood Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain), Flood Zone "X" (0.2% annual chance flood hazard), Flood Zone "AE" (EL 11) (Special flood hazard areas with base flood elevation) and Flood Zone "AE" (EL 12) (Special flood hazard areas with base flood elevation) as shown on the Federal Emergency Management Agency Flood Insurance Rate Map for Pinellas County, Community Panel No. 12103C0202J and 12103C0206J, effective August 24, 2021. The limits of said flood zone(s) have been graphically depicted hereon as near as may be scaled from said map, said map having an approximate scale of 1"=500'. Stantec assumes no responsibility for the accuracy of the referenced map or public data.

This survey is not intended to delineate the regular jurisdiction of any Federal, State, Regional or Local Agency, Board or Commission or other entity.

Lands shown hereon represent the real property and matters affecting the real property as described by data furnished.

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.

This survey does not reflect or determine ownership.

Symbols shown hereon may not be drawn to scale.

Distances and bearings are the same as platted or deeded, unless shown otherwise.

Ownership of fences has not been determined.

This survey was performed for the sole and exclusive benefit of the parties listed herein and shall not be relied upon by any other entity or individual whomsoever. Likewise, any reuse of this survey for any purpose other than which was originally intended, without the written permission of the undersigned Surveyor & Mapper, will be done so at the risk of the reusing party and without any liability to the undersigned Surveyor & Mapper.

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# TOPOGRAPHIC SYMBOL LEGEND

- 4"x 4"x 2' CONCRETE MONUMENT SET "LB#7866"
- FOUND CONCRETE MONUMENT (AS NOTED)
- FOUND IRON ROD (AS NOTED)
- FOUND IRON PIPE (AS NOTED)
- FOUND CAPPED IRON ROD (AS NOTED)
- 5/8"x 18" IRON ROD SET "LB#7866"
- FOUND CHISEL SQUARE
- NAIL FOUND (AS NOTED)
- NAIL & DISK FOUND (AS NOTED)
- NAIL & DISK SET "LB#7866"
- BENCH MARK

- FEMA FLOOD ZONE LINE
- RIGHT-OF-WAY
- PROPERTY LINE
- EDGE OF PAVEMENT
- EDGE OF WALK/CONCRETE
- CENTERLINE OF SWALE
- FENCE LINE
- OVERHEAD UTILITY LINES
- TOP OF BANK LINE
- SECTION LINE
- EASEMENT LINE
- CENTER LINE

- PEDESTRIAN CROSSING
- PARKING METER
- TRAFFIC CONTROL BOX
- SPRINKLER HEAD
- MONITOR WELL
- MAIL BOX
- METER POLE
- YARD DRAIN
- METERED END
- FLOOD LIGHT
- SIGN
- TELEVISION CABLE RISER
- TELEPHONE RISER/METER
- TELEPHONE MANHOLE
- GAS RISER/METER
- ELECTRICAL PANEL
- ELECTRIC MANHOLE
- ELECTRICAL HAND HOLE
- ELECTRICAL TRANSFORMER PAD
- ELECTRIC RISER
- LIGHT POST
- TRAFFIC LIGHT POLE
- UTILITY POLE
- CONCRETE UTILITY POLE
- GUY ANCHOR

- BLOW OFF
- STORM INLET
- STORM MANHOLE
- SANITARY MANHOLE
- CLEAN OUT
- VALVE BOX
- WATER RISER/HOSE BIBB
- WELL
- METER
- FIRE DEPT. CONNECTION

- AUSTRALIAN PINE
- BANYON
- BRAZILIAN PEPPER
- BAY
- CHINABERRY
- CEDAR
- CITRUS
- ELM
- FIRE TREE
- LOQUAT
- MAPLE
- MYRTLE
- OAK
- ORNAMENTAL
- PALM
- PINE
- PUNK
- ROSEWOOD

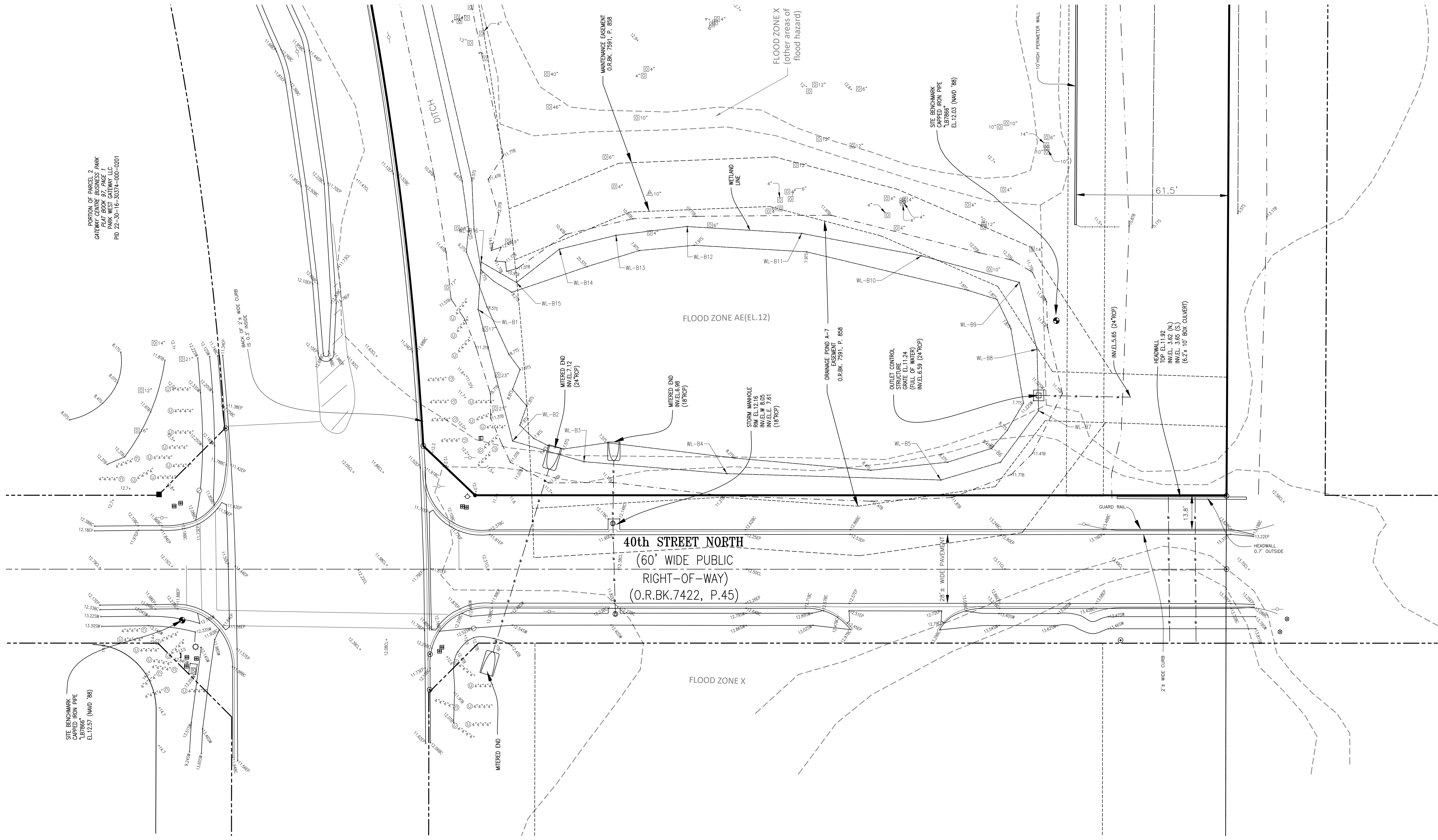
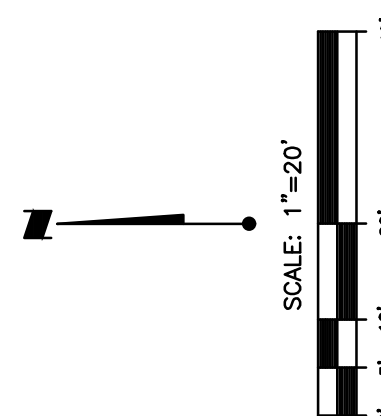
- BACK OF CURB
- BLOW-OFF
- BACKFLOW PREVENTER
- BRICK/PAVERS
- CENTER LINE
- CONCRETE EDGE
- BIKE PATH/CART PATH
- DITCH CENTER
- UNDERDRAIN FLAG
- EDGE OF DRIVE
- EDGE OF CONCRETE/WALK
- EXTRA SHOT
- ELECTRIC FLAG
- EDGE OF PAVEMENT
- EDGE OF SHELL/LIMEROCK
- EDGE OF WATER
- FENCE, BARB WIRE
- FENCE, CHAIN LINK
- FORCE MAIN FLAG
- FIBER OPTIC FLAG
- FENCE, WOOD
- FINISH FLOOR
- WEIR
- FLOW LINE

- GRADE BREAK
- GUARD RAIL
- GAS FLAG
- HEADWALL
- INVERT OF PIPE
- IRRIGATION FLAG
- MISCELLANEOUS
- PHONE FLAG
- REUSE FLAG
- RIM OF MANHOLE
- SWALE CENTER
- SANITARY FLAG
- STORM FLAG
- EDGE OF CONCRETE/WALK
- TOP OF BANK
- TOP OF GRATE
- TOP OF PIPE
- TOE OF SLOPE
- CABLE TV FLAG
- WALL/SEAWALL
- WOOD DECK
- WEIR
- WATER SURFACE
- WATER FLAG
- GROUND ELEVATION

ABBREVIATIONS LEGEND:  
O.R.BK.=OFFICIAL RECORDS BOOK  
O.R.I.#=INSTRUMENT NUMBER  
P.B. = PLAT BOOK  
P. = PAGE  
INVEL.=PIPE INVERT ELEVATION  
EL.=ELEVATION  
ROP=REINFORCED CONCRETE PIPE  
PVC = POLYVINYL CHLORIDE PIPE  
WL = WETLAND  
NP = NORMAL POOL  
SHW = SEASONAL HIGH WATER

NOTE: size of trunk diameter is determined at 4.5' above ground surface and is shown adjoining the symbol in inches.

NOTE: 00.0(0) denotes an elevation in feet with the "X" being the location of the elevation.



REV NO.	REVISION	DATE	DRAWN BY/EMP.NO.	CHECKED BY/EMP.NO.	FIELD BOOK/PAGE	CHIEF
1					742/38	IW/MW

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TITLE: TOPOGRAPHIC & TREE SURVEY OF A  
PORTION OF PARCEL 4, GATEWAY CENTRE BUSINESS PARK LOCATED IN  
SECTION 22, TOWNSHIP 30 SOUTH, RANGE 16 EAST  
PINELLAS COUNTY, FLORIDA

DATE: 04/22/25	CLIENT: HANOVER R.S. LIMITED PARTNERSHIP 1780 S. Post Oak Lane Houston, TX 77056
HORIZONTAL SCALE: 1" = 20'	
SEC: 22-30S-16E	
CROSS REFERENCE FILE NO. 215617402	PROJECT NO.: 215618727
TASK CODE: 210	SHEET NUMBER: 4 OF 4
DRAWING/FILE NUMBER: 215618727v-spt001	



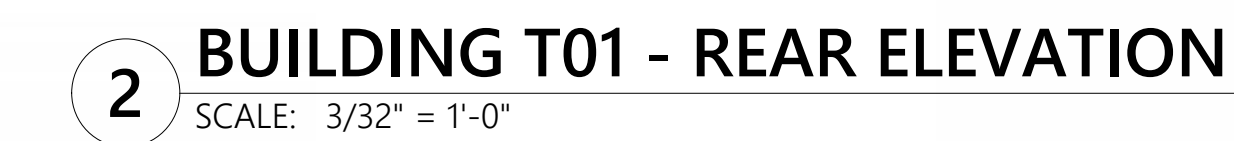
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**3 BUILDING T01 - SIDE ELEVATION A**  
SCALE: 3/32" = 1'-0"



NO.	DATE:	REVISION DESCRIPTION:
-----	-------	-----------------------

# GATEWAY CENTRE

WILKENS LANE, HYANNIS, MA

THE HANOVER COMPANY

100% SCHEMATIC DESIGN ISSUE - 06/07/2025

NOT FOR  
REGULATORY  
APPROVAL,  
PERMITTING, OR  
CONSTRUCTION

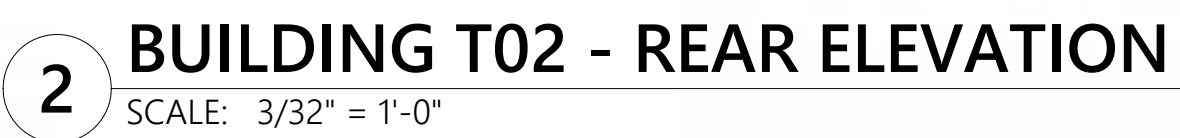
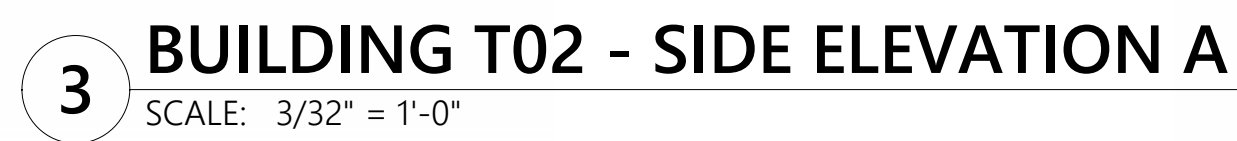
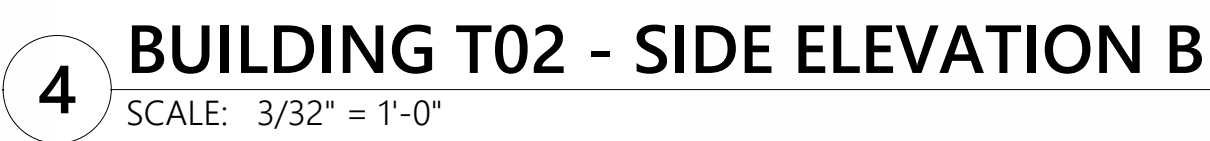
ARCHITECT OF RECORD: <b>FRED WILSON</b>	REGISTRATION NUMBER: <b>16622</b>
ISSUED: 06/07/25 - 100% SCHEMATIC DESIGN	

PROJECT NO: 24-38  
SHEET CONTENTS:  
**BUILDING T01 -  
ELEVATIONS**

SCALE: 3/32" = 1'-0"

SHEET NO. **A4.1.5**



[illegible]



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**3 BUILDING T01 - SIDE ELEVATION A (FLAT ROOF)**  
SCALE:  $3/32" = 1'-0"$

[illegible]

**GATEWAY CENTRE**  
WILKENS LANE, HYANNIS, MA

**THE HANOVER COMPANY**

100% SCHEMATIC DESIGN ISSUE - 06/07/20

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REGULATORY  
APPROVAL,  
PERMITTING, OR  
CONSTRUCTION**

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ARCHITECT OF RECORD: <b>FRED WILSON</b>	REGISTRATION NUMBER: <b>16622</b>
---	---

---

ISSUED:  
06/07/25 - 100% SCHEMATIC DESIGN

PROJECT NO: 24-38  
SHEET CONTENTS:  
**BUILDING T01 -  
ELEVATIONS  
MANSARD ROOF**

SCALE: 3/32" = 1'-0"

---

SHEET NO. **A4.1.6**

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4 BUILDING T02 - SIDE ELEVATION B (MANSARD ROOF)  
SCALE: 3/32" = 1'-0"



3 BUILDING T02 - SIDE ELEVATION A (MANSARD ROOF)  
SCALE: 3/32" = 1'-0"



2 BUILDING T02 - REAR ELEVATION (MANSARD ROOF)  
SCALE: 3/32" = 1'-0"



1 BUILDING T02 - FRONT ELEVATION (MANSARD ROOF)  
SCALE: 3/32" = 1'-0"



**Exhibit G: Rendering of Roof at 55 feet**





Exhibit H: Aerial Map



2/28/2025, 2:05:09 PM

Pinellas Park

Parcels

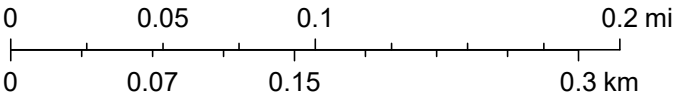
Aerials 2024

Green: Band\_2

Red: Band\_1

Blue: Band\_3

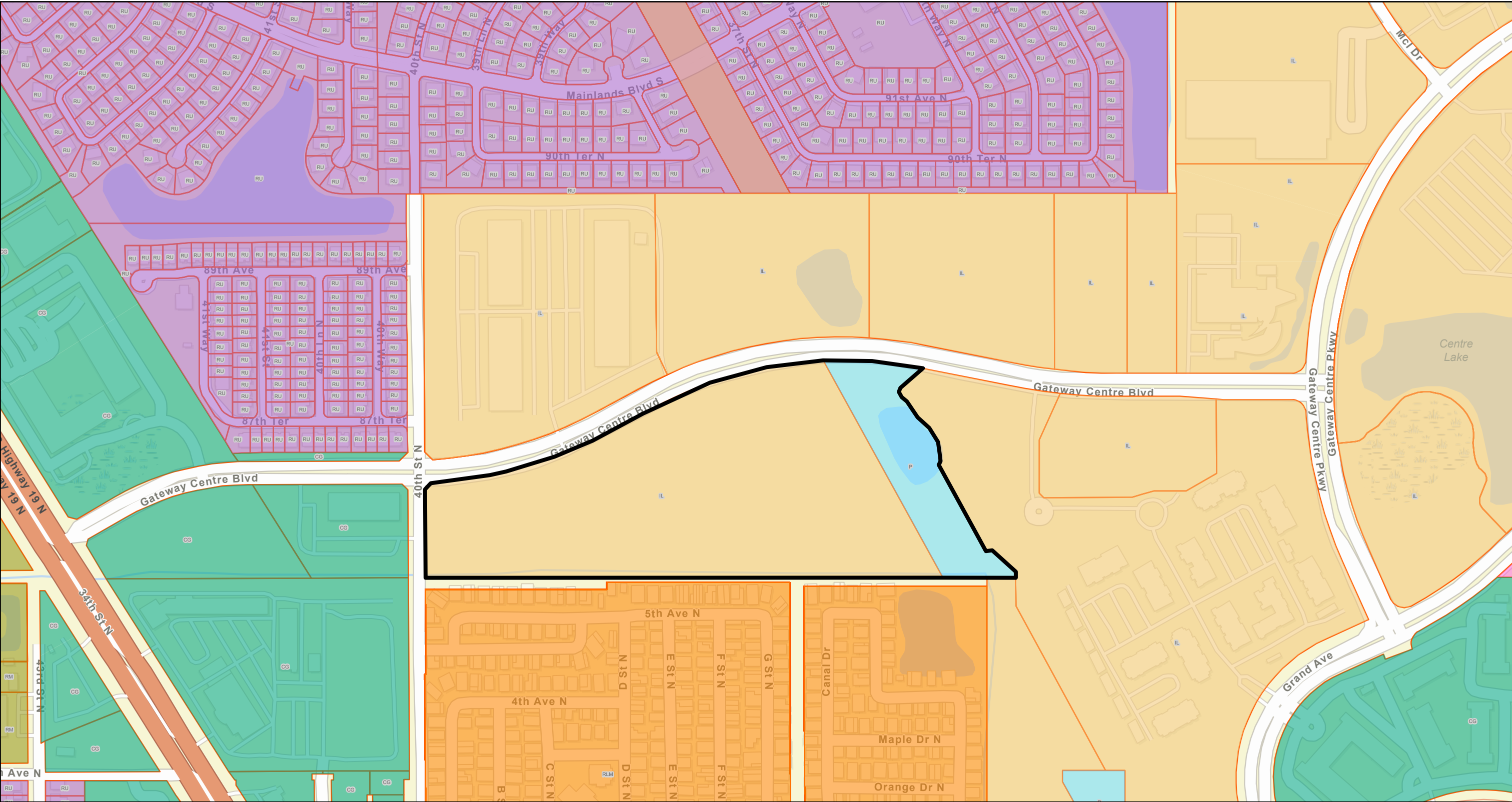
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# Exhibit I: Future Land Use Map



2/28/2025, 2:09:09 PM

Land Use (Pinellas Park)

Commercial General - CG

Industrial Limited - IL

Preservation - P

Residential/Office General - R/OG

Residential Low Medium - RLM

Residential Medium - RM

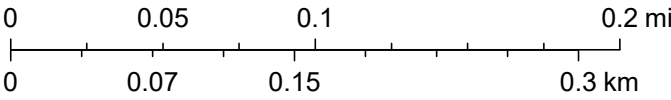
Residential Urban - RU

Transportation/Utility - T/U

Pinellas Park

Parcels

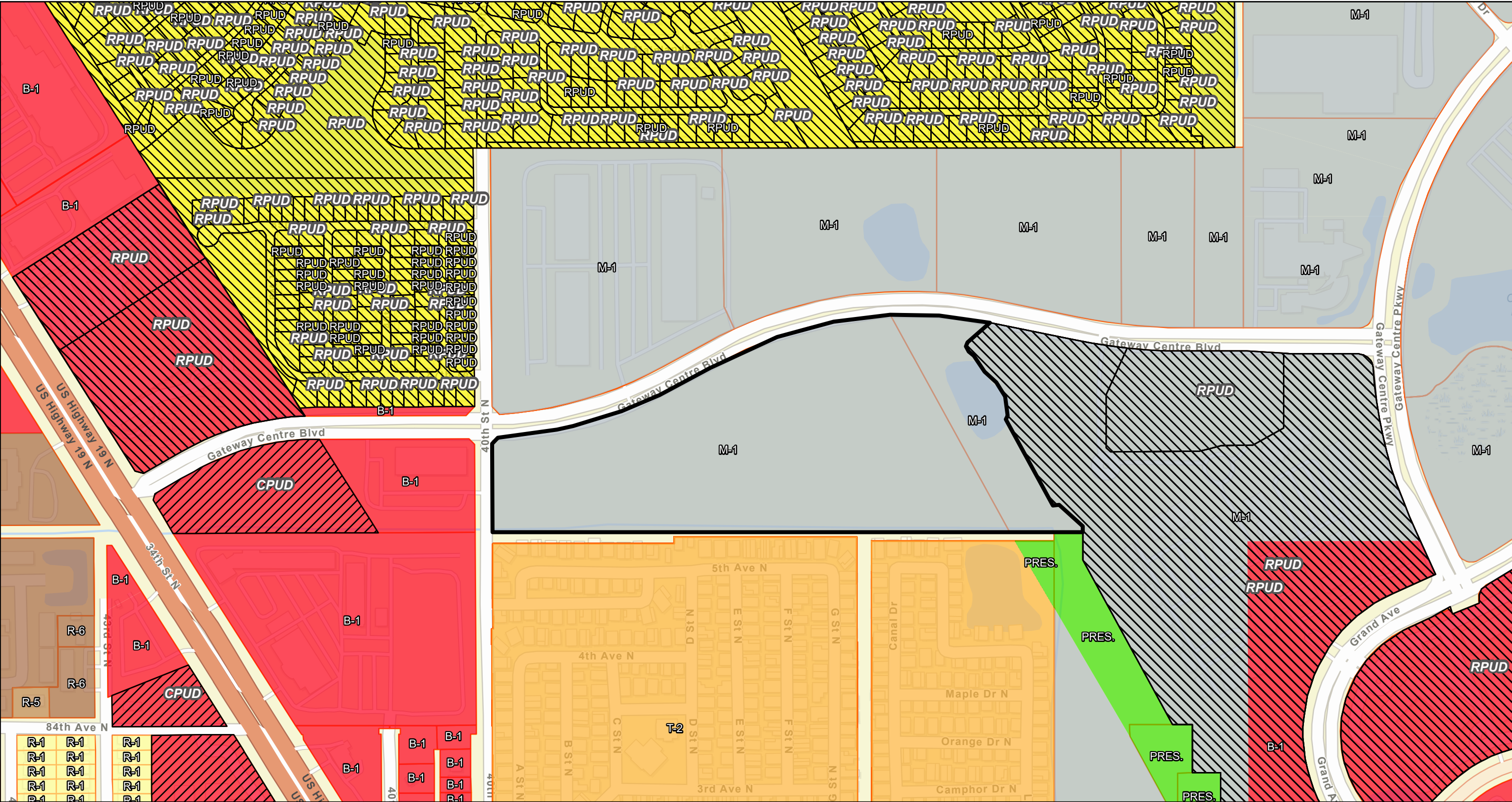
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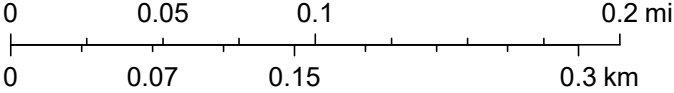


# Exhibit J: Zoning Map



2/28/2025, 2:07:00 PM

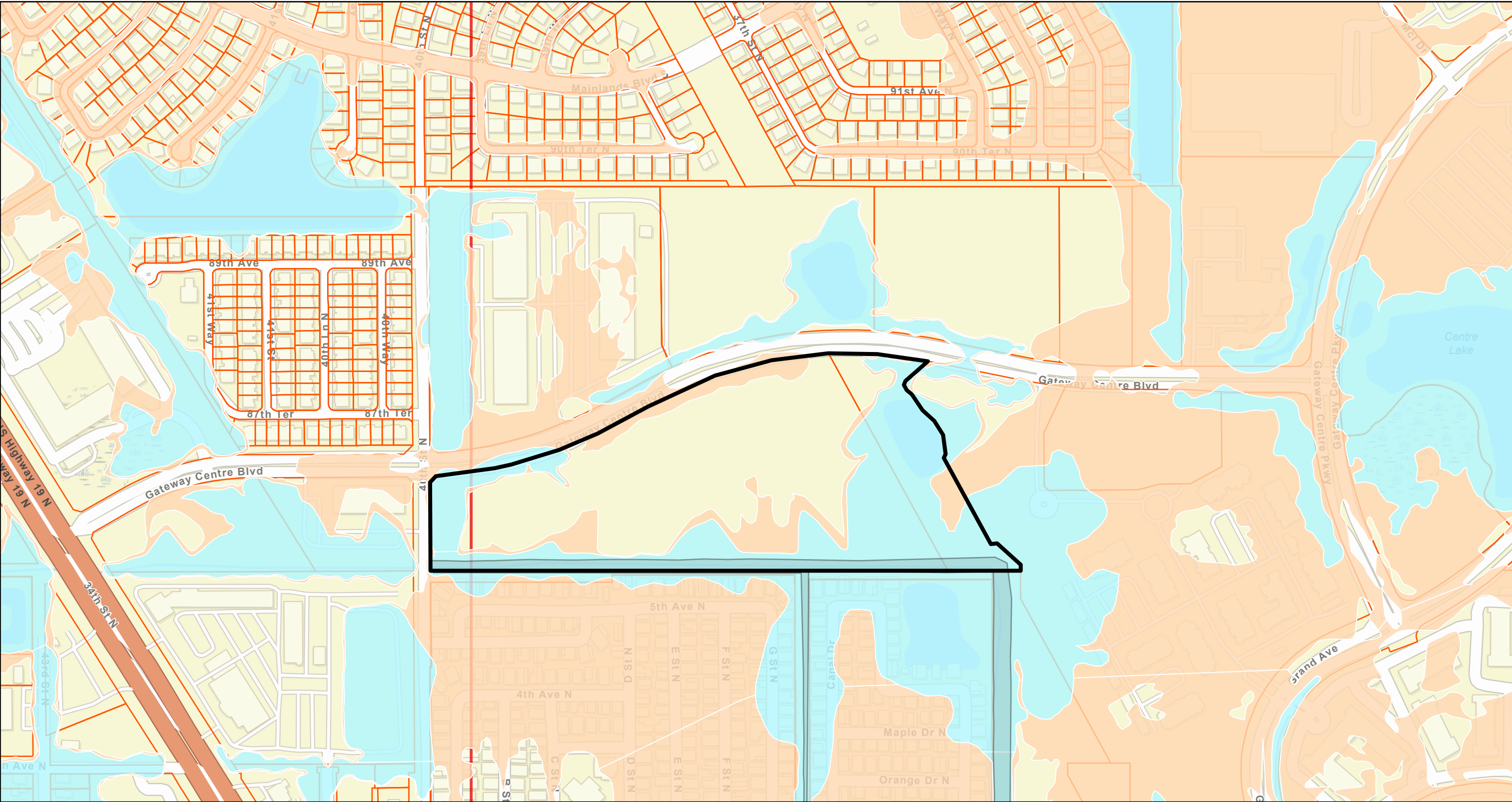
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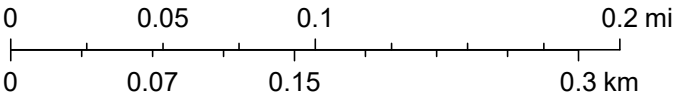
# Exhibit K: Flood Insurance Rate Map



2/28/2025, 2:10:32 PM

1:4,514

- Section 163.3178(6)(h), Florida Statutes
- 0.2% Annual Chance Flood Hazard (X)
- FEMA Flood Hazard Areas
- Area of Minimal Flood Hazard (X)
- 1% Annual Chance Flood Hazard (A, AE, AH, VE)
- Panel Extent
- 1% Annual Chance Flood Hazard (A, AE, AH, VE)
- Pinellas Park
- 0.2% Annual Chance Flood Hazard (X)
- Parcels



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