

This instrument was prepared by and returned to:  
Randol D. Mora, Esq.  
City Attorney  
City of Pinellas Park  
P.O. Box 1100  
Pinellas Park, Florida 33780-1100

## UTILITY EASEMENT

**THIS INDENTURE**, made this \_\_\_\_\_ day of \_\_\_\_\_, A.D., 2025, between **6903 Retail LLC**, Mailing Address 2100 McMullen Road, Largo, Florida, 33771, Party of the First Part, and the **City of Pinellas Park**, located at 5141 78th Avenue North, Pinellas Park, Florida, 33781, Party of the Second Part. (*“Party of the First Part” and “Party of the Second Part” are used herein for singular or plural, the singular shall include the plural, and any gender shall include all genders, as context requires.*)

**WITNESSETH**, That, for and in consideration of the sum of Ten and no/100 Dollars (\$10.00) lawful currency of the United States of America, and for other good and valuable considerations in hand paid by the Party of the Second Part, the receipt and sufficiency of which is hereby acknowledged, the Party of the First Part does hereby grant and release unto the Party of the Second Part, a **Utility Easement** over, under, across and through that portion of Parcel ID# 32/30/16/32634/000/0014, Property Address 6903 66th Street North, Pinellas Park, Florida, 33781, as further described in the legal description and sketch of easement area as depicted in Exhibit “A” which is attached hereto and made a part hereof.

See Attached Legal Description and Sketch, Exhibit “A”

It is in the intention of the said Party of the First Part that this easement shall run with the land described above, and be binding upon the Parties, their heirs, assigns, and successors in interest.

**IN WITNESS WHEREOF**, the said Party of the First Part has hereunto set its Hand and Seal the day and year first above written.

**SIGNED, SEALED AND DELIVERED IN  
THE PRESENCE OF:**

**GRANTOR:  
6903 Retail LLC  
By: Navin Bajaj, Manager**

\_\_\_\_\_  
(Sign)

\_\_\_\_\_  
(Sign)

\_\_\_\_\_  
(Print)

\_\_\_\_\_  
(Print)

\_\_\_\_\_  
(Address)

\_\_\_\_\_  
(City) (State) (Zip Code)

\_\_\_\_\_  
(Sign)

\_\_\_\_\_  
(Print)

\_\_\_\_\_  
(Address)

\_\_\_\_\_  
(City) (State) (Zip Code)

State of Florida

County of \_\_\_\_\_

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this day of \_\_\_\_\_, 2025 by

\_\_\_\_\_  
(Name of person acknowledging and title of position)

\_\_\_\_\_  
Notary Public signature

\_\_\_\_\_  
(Name of Notary typed, printed or stamped)

Personally known \_\_\_\_\_ or produced identification \_\_\_\_\_

Type of identification produced \_\_\_\_\_

ATTENTION NOTARY: Although the information requested below is OPTIONAL, it could prevent fraudulent attachment of this certificate to an unauthorized document.

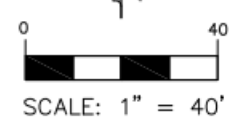
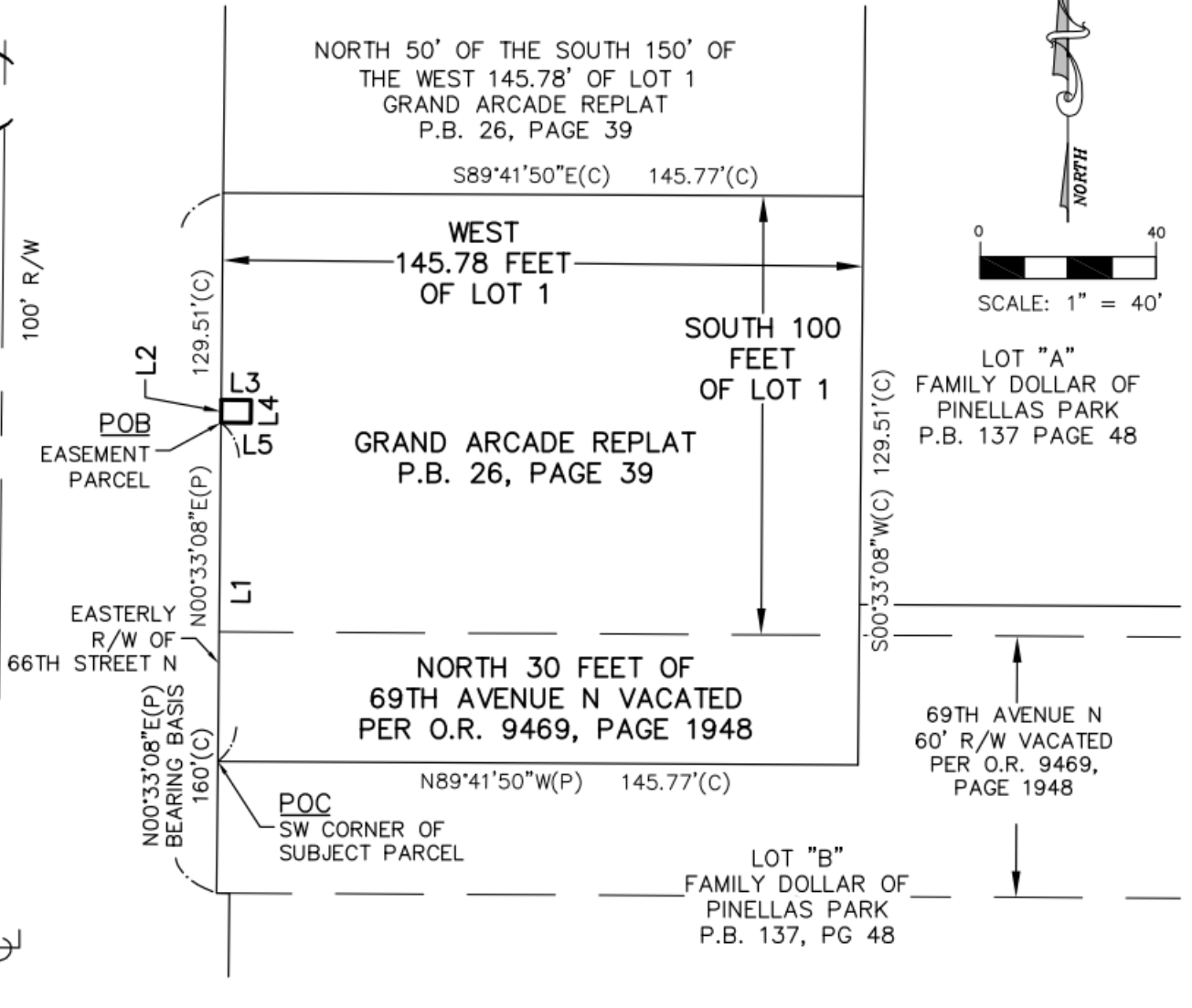
THIS CERTIFICATE MUST BE  
ATTACHED TO THE DOCUMENT  
DESCRIBED AT RIGHT:

Title or Type of Document **UTILITY EASEMENT**  
Number of Pages \_\_\_\_ Date of Document \_\_\_\_\_  
Signers Other than Named Above NONE

# SKETCH-OF-LEGAL UTILITY EASEMENT

SECTION 32, TOWNSHIP 30 SOUTH, RANGE 16 EAST  
PINELLAS COUNTY, FLORIDA

70TH STREET(P)  
 100' R/W  
 66TH STREET NORTH(F)  
 100' R/W



LINE TABLE		
LINE	BEARING	LENGTH
L1	N00°33'08"E	77.16'
L2	N00°33'08"E	5.18'
L3	S89°26'52"E	6.73'
L4	S00°33'08"W	5.18'
L5	N89°26'52"W	6.73'

**SURVEYOR'S NOTE:**

BEARING BASIS IS THE EASTERLY RIGHT-OF-WAY LINE OF 66TH STREET NORTH BEING N00°33'08"E, PER PLAT.

THIS IS NOT A SURVEY

NAME AND ADDRESS OF THE PREPARER:

DRAWN BY: HW
CHECKED BY: D.J.E.
DATE: JANUARY 6, 2025
SCALE: 1"=40'
SHEET 1 of 2
W.O. 6210

ABBREVIATION LEGEND:	
(C)	= Calculated Data
(P)	= Data per Plat
O.R.	= Official Records Book
P.B.	= Plat Book
POB	= Point of Beginning
POC	= Point of Commencement
R/W	= Right-of-Way
⊕	= Centerline

GEODATA SYSTEMS INC. D/B/A  
**GEODATA SERVICES**  
 1166 KAPP DRIVE  
 CLEARWATER, FL 33765  
 PHONE: (727) 447-1763

LB 7466

# SKETCH-OF-LEGAL UTILITY EASEMENT

SECTION 32, TOWNSHIP 30 SOUTH, RANGE 16 EAST  
PINELLAS COUNTY, FLORIDA

PROPERTY ADDRESS:

6903 66TH STREET NORTH  
PINELLAS PARK, FLORIDA

LEGAL DESCRIPTION:

A PARCEL DESIGNATED AS A UTILITY EASEMENT, THAT IS A PORTION OF THE FOLLOWING DESCRIBED PARCEL RECORDED IN O.R. BOOK 21269, PAGE 2613:

SOUTH 100 FEET OF WEST 145.78 FEET OF LOT 1, GRAND ARCADE REPLAT, ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 26, PAGE 39, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; TOGETHER WITH THE NORTH 30 FEET OF ADJACENT VACATED ROAD TO THE SOUTH. VACATION RECORDED IN O.R. BOOK 9469, PAGE 1948.

BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE ABOVE DESCRIBED PARCEL; THENCE NORTH 00°33'08" EAST ALONG THE EASTERLY RIGHT-OF-WAY LINE OF 66TH STREET NORTH, A DISTANCE OF 77.16 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY NORTH 00°33'08" EAST, A DISTANCE OF 5.18 FEET; THENCE LEAVING SAID RIGHT-OF-WAY SOUTH 89°26'52" EAST, A DISTANCE OF 6.73 FEET; THENCE SOUTH 00°33'08" WEST ALONG A LINE PARALLEL TO AND 6.73 FEET EAST OF SAID RIGHT-OF-WAY, A DISTANCE OF 5.18 FEET; THENCE LEAVING SAID PARALLEL LINE NORTH 89°26'52" WEST, A DISTANCE OF 6.73 FEET BACK TO THE POINT OF BEGINNING.

CONTAINING 35 SQUARE FEET OR 0.001 ACRE, MORE OR LESS.

SURVEYOR'S CERTIFICATION:

I, DENNIS J. EYRE, THE SURVEYOR IN RESPONSIBLE CHARGE, HEREBY CERTIFY THAT THIS SKETCH IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. SKETCH NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, OR ELECTRONIC DIGITAL SIGNATURE IN ACCORDANCE WITH STATE OF FLORIDA ADMINISTRATIVE CODE RULE 5J-17.062.

DENNIS J. EYRE, P.L.S. FLA. REG. No. 2865  
DATE: JANUARY 6, 2025

NAME AND ADDRESS OF THE PREPARER:

THIS IS NOT A SURVEY

DRAWN BY: HW
CHECKED BY: D.J.E.
DATE: DECEMBER 31, 2024
<i>SHEET 2 of 2</i>
W.O. 6210

ABBREVIATION LEGEND:  
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O.R. = Official Records Book  
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POB = Point of Beginning  
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GEODATA SYSTEMS INC. D/B/A  
**GEODATA SERVICES**  
1166 KAPP DRIVE  
CLEARWATER, FL 33765  
PHONE: (727) 447-1763  
LB 7466





Todd Biron &lt;tbiron@pinellas-park.com&gt;

## FW: ESMT-2025-00011 - Survey Review

5 messages

**McKay, Michael** <mmckay@georgefyoung.com>

Mon, Dec 30, 2024 at 9:06 AM

To: Todd Biron <tbiron@pinellas-park.com>

Cc: Aaron Petersen <APetersen@pinellas-park.com>, "Hatch, Trevor" <thatch@georgefyoung.com>

Good morning, Todd,

I hope you had a pleasant Holiday break. See below and attached for the survey review comments for the above referenced sketch and legal description. Apologies for the delay in this, I had it as "complete" on my end.

- Revise the property legal description, as necessary. See attached recorded deed for reference.

Happy New Year!

**Michael McKay**

Senior Survey Project Manager

Phone: (727) 822-4317

Cell: (727) 318-0306

**GEORGE F YOUNG**

299 Dr. Martin Luther King Jr. St. N., St. Petersburg, FL 33701

<https://link.edgepilot.com/s/ebd6c5ed/WvraMYldhkWi0V1YAjqBQ?u=http://www.georgefyoung.com/>

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**From:** Todd Biron <[tbiron@pinellas-park.com](mailto:tbiron@pinellas-park.com)>  
**Sent:** Friday, December 20, 2024 3:52 PM  
**To:** Hatch, Trevor <[thatch@georgefyoung.com](mailto:thatch@georgefyoung.com)>  
**Cc:** Aaron Petersen <[APetersen@pinellas-park.com](mailto:APetersen@pinellas-park.com)>  
**Subject:** Re: ESMT-2025-00011

Hey Trevor,

Just following up on this one. Have a great weekend.

Thank you,

Todd

Todd Biron

Planning Coordinator

Planning and Development Services

Office:727.369.5631 ~ Direct:727.369.5613

[6051 78th Avenue N. | Pinellas Park, FL 33781](#)



On Mon, Dec 2, 2024 at 1:42 PM Hatch, Trevor <[thatch@georgefyoung.com](mailto:thatch@georgefyoung.com)> wrote:

We will review, thanks!



**Trevor Hatch, PSM**

Vice-President, Survey, St Petersburg



Phone: (727) 822-4317

Cell: (727) 641-0205

## GEORGE F YOUNG

299 Dr. Martin Luther King Jr. St. N., St. Petersburg, FL 33701

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**From:** Todd Biron <[tbiron@pinellas-park.com](mailto:tbiron@pinellas-park.com)>  
**Sent:** Monday, December 2, 2024 12:36 PM  
**To:** Hatch, Trevor <[thatch@georgefyoung.com](mailto:thatch@georgefyoung.com)>  
**Cc:** Aaron Petersen <[APetersen@pinellas-park.com](mailto:APetersen@pinellas-park.com)>  
**Subject:** ESMT-2025-00011

Hey Trevor,

Can you review this utility easement sketch located at [6903 66th St N](#)? Let me know if you have any questions.

Thank you,

Todd Biron

Associate Planner

City of Pinellas Park

6051 78th Avenue N

Pinellas Park, FL 33781

Office: 727.369.5613



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## 2 attachments

 **S&L\_review comments.pdf**  
95K

 **Pinellas County Clerk of the Court - Bk 21269 Pg 2613.pdf**  
138K

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**Todd Biron** <tviron@pinellas-park.com>

Mon, Dec 30, 2024 at 9:48 AM

To: "McKay, Michael" <mmckay@georgefyoung.com>

Cc: Aaron Petersen <APetersen@pinellas-park.com>, "Hatch, Trevor" <thatch@georgefyoung.com>

Hey Michael,

The holidays went by way too quickly. I hope your break was pleasant as well! I'll get this over to the applicant.

Thank you,  
Todd

Todd Biron  
Planning Coordinator  
Planning and Development Services  
Office:727.369.5631 ~ Direct:727.369.5613  
6051 78th Avenue N. | Pinellas Park, FL 33781



[Quoted text hidden]

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**Todd Biron** <tviron@pinellas-park.com>

Tue, Dec 31, 2024 at 12:17 PM

To: "McKay, Michael" <mmckay@georgefyoung.com>



Cc: Aaron Petersen <APetersen@pinellas-park.com>, "Hatch, Trevor" <thatch@georgefyoung.com>

Hey Michael,

Can you do another review of this one and let me know if it is sufficient?


Thank you,  
Todd

Todd Biron  
Planning Coordinator  
Planning and Development Services  
Office:727.369.5631 ~ Direct:727.369.5613  
6051 78th Avenue N. | Pinellas Park, FL 33781



[Quoted text hidden]

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 **6210-20241231-V2004-S&L Sheets 1-2.pdf**  
343K

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**McKay, Michael** <mmckay@georgefyoung.com> Thu, Jan 2, 2025 at 8:15 AM  
To: Todd Biron <tbiron@pinellas-park.com>  
Cc: Aaron Petersen <APetersen@pinellas-park.com>, "Hatch, Trevor" <thatch@georgefyoung.com>

Todd,

The comment has been satisfied.

Happy New Year!



**Michael McKay**

Senior Survey Project Manager



Phone: (727) 822-4317

Cell: (727) 318-0306

**GEORGE F YOUNG**

299 Dr. Martin Luther King Jr. St. N., St. Petersburg, FL 33701

<https://link.edgepilot.com/s/fbb90b63/b97tRzGBm0ug6jGNcr8MLw?u=http://www.georgefyoung.com/>

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[Quoted text hidden]

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**Todd Biron** <[tbiron@pinellas-park.com](mailto:tbiron@pinellas-park.com)>

Thu, Jan 2, 2025 at 8:34 AM

Draft To: "McKay, Michael" <[mmckay@georgefyoung.com](mailto:mmckay@georgefyoung.com)>

Cc: Aaron Petersen <[APetersen@pinellas-park.com](mailto:APetersen@pinellas-park.com)>, "Hatch, Trevor" <[thatch@georgefyoung.com](mailto:thatch@georgefyoung.com)>

Michael,

Thanks, Happy New Year!

Thank you,  
Todd

Todd Biron  
Planning Coordinator  
Planning and Development Services  
Office:727.369.5631 ~ Direct:727.369.5613  
6051 78th Avenue N. | Pinellas Park, FL 33781



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