



City of Pinellas Park

City Council

Agenda

Thursday, October 13, 2016

7:30 PM

City Council Chambers

CALL TO ORDER

INVOCATION

PLEDGE OF ALLEGIANCE

I. DECLARATIONS, PROCLAMATIONS AND PRESENTATIONS

PROCLAMATIONS

PUBLIC COMMENT AND CORRESPONDENCE

CITIZENS COMMENTS ARE INVITED ON ITEMS OR CONCERNS NOT ALREADY SCHEDULED ON TONIGHT'S AGENDA. PLEASE LIMIT COMMENTS TO THREE MINUTES.

AT THIS TIME STAFF MEMBERS AND CITIZENS WILL BE SWORN IN IF THERE ARE ITEMS THAT ARE QUASI-JUDICIAL

II. APPROVAL OF MINUTES

Approval of Regular Council Minutes of September 22, 2016, as on file in the City Clerk's office.

III. PUBLIC HEARINGS

- P1 CONSIDERATION OF A REQUEST FOR A WAIVER TO STREETSCAPE LANDSCAPING AS REQUIRED WITH THE PROPOSED ADDITION OF BUILDING AREA ON A PARCEL GENERALLY LOCATED AT 12450 49TH STREET. (MS 2016-28, Alro Metals, Corp.)

FIRST AND FINAL PUBLIC HEARING - (QUASI- JUDICIAL)

(Speaker - Dean Neal, Zoning Director)

NOTE: The applicant is requesting a waiver to the installation of streetscape landscaping as required by Sec. 18-1533.8, *Landscape requirements for sites proposing building or vehicular use area expansion*. The frontage to 49th Street is currently paved to the property line. With the addition of approximately 18% of building area, 25% of the Landscape Code must be brought into compliance through the streetscape, which consists of six square feet per linear foot of frontage, one tree per 40 feet of frontage and a continuous hedge. The applicant will be required to pay into the Tree Bank Fund for one canopy tree, two intermediate trees, one understory tree and 42 hedge plants. The surrounding land uses consist of: to the north, Alro Manufacturing; to the east, Industrial supply facility; to the south, heating and air conditioning office; to the west, Duke Energy Power Easement.

ACTION: (Approve - Deny) After review of the criteria for Landscape Waivers in Section 18-1533 for a parcel of land generally located at 12450 49th Street, I move to APPROVE/DENY Case No. MS 2016-28, subject to the following condition:

1. The applicant shall make a payment equal to the cost of one (1) canopy tree, two (2) intermediate trees, one (1) understory tree and forty-two (42) hedge plants to the City's Tree Bank Fund prior to issuance of Certificate of Occupancy.

Department: Community Development

Reference Material: [staff report, application, aerial map, site plan \(2\)](#)

P2 CONSIDERATION OF A PRELIMINARY SITE PLAN FOR DEVELOPMENT OF "M-1" LIGHT INDUSTRIAL ZONED PROPERTY GENERALLY LOCATED AT 7025 90TH AVENUE THAT FUNCTIONALLY ABUTS RESIDENTIAL PROPERTY TO THE SOUTH. (MS 2016-29, STSC Properties, LLC)

FIRST AND FINAL PUBLIC HEARING - (QUASI- JUDICIAL)

(Speaker - Dean Neal, Zoning Director)

NOTE: The applicant is requesting consideration of an application to redevelop a 3.42 acres (MOL) parcel of land generally located at 7025 90th Avenue in the "M-1" Light Industrial Zoning District. The parcel functionally abuts an "RPUD" Residential Planned Unit Development to the south. The subject property is currently occupied by a frozen food trucking business and is developed with a 2,100 square foot office building and an 800 square foot accessory structure. Section 18-1524.5(G) of the Land Development Code requires City Council approval of site plans for any property located within the "M-1" Light Industrial Zoning District that abuts or functionally abuts residentially zoned property. The applicant has committed to meeting all requirements of this section of Code, which are detailed in the staff report. The site plan shows two phases of the project which will be restricted by a timeline through conditions of this approval. Phases I and IA are proposed as development for use by the applicant, Carr and Sons Masonry. Phase II will be constructed at a later date, within 5 years of approval. The 3.42 acre site is designed to meet all Code requirements with the complete build out. As per Section 18-1503.8, all properties proposing development on an insufficient right-of-way must measure all required yards from the ultimate right-of-way line; therefore, the owner must reserve 15 feet in the front of the property for the City to improve 90th Avenue to sufficient width. According to the site plan, all setbacks and landscaping have been measured from this point and will meet the requirement.

The surrounding land uses consist of: to the north, Transitions Optical; to the east, warehouse and manufacturing in County jurisdiction; to the south, St. Hagop Church subdivision; to the west, Straubinger industrial.

ACTION: (Approve - Deny) After review of this staff report which provides analysis of the review criteria, enumerated in Sections 18-1524.5(F)1 and 18-1524.5(G)2, and standards

controlling the development of "M-1" Light Industrial District parcels that functionally abut residential zoning districts for a parcel of land generally located at 7025 90th Avenue, I move to (APPROVE/DENY) Case No. MS 2016-29, subject to the following conditions:

1. As defined in the site plan prepared by Deuel and Associates and submitted to the Zoning Division on September 8, 2016, Phase I shall be completed by the end of December 2017 and Phases IA and II shall be completed no later than 5 years from the date of approval.
2. The Zoning Director shall have the ability to administratively grant minor revisions to this phase plan or an extension for up to one year for any phase. Any additional extension or major revision to the plan must be reviewed by City Council. Requests for extension and/or revision must be submitted to the Zoning Division no later than 60 days prior to expiration of the phase build out date.

Department: Community Development

Reference Material: [staff report, application, narrative, aerial map, site plan \(2\)](#)

P3 AUTHORIZATION FOR THE MAYOR TO SIGN AN ADDENDUM TO AN ANNEXATION AGREEMENT DATED NOVEMBER 12, 2015, BETWEEN THE CITY OF PINELLAS PARK AND JAMES R. DES ROCHERS (AX15-14) - For property located at 6641 and 6661 67th Way North

PUBLIC HEARING, FIRST AND FINAL READING

(Speaker - Shannon Coughlin, Economic Development Manager)

NOTE: The City acknowledges that lots that have been developed in the Alston Park Subdivision do not have sidewalks; for this reason the City agrees to waive the requirement for installation of sidewalk as part of the development of this Property. The City shall also waive the rear setback requirement of 15 feet to allow a 10 foot setback.

C2 on 9/22/16 Council agenda, tabled to 10/13/16

ACTION: (Approve - Deny) Authorization for Mayor to sign an addendum to the annexation agreement dated November 12, 2015, between the City of Pinellas Park and James R. Des Rochers for the property located at 6641 and 6661 67th Way North.

Department: Community Development

Reference Material: [Addendum to Annexation Agreement, Map, Attorney Letter](#)

IV. CONSENT AGENDA

C1 REAPPOINTMENT TO THE PINELLAS PARK POLICE OFFICERS' PENSION BOARD OF TRUSTEES - One Council Appointed Member

NOTE: Mr. Earl Clements was originally appointed in 1999 to serve as a member on the Pinellas Park Police Officers' Pension Board. Mr. Clements' term is due to expire October 2016, and he is interested in continuing this service. Members serve for a four-year term.

ACTION: (Approve - Deny) The reappointment of Earl Clements to serve as a resident member of the Pinellas Park Police Officers' Pension Board of Trustees with the term to expire October 2020.

Department: Human Resources

Reference Material: [attendance record clements 09.2016](#)

C2 APPOINTMENT TO THE LIBRARY BOARD - Ms. Kayla Jacobson

NOTE: A vacancy on the Library Board was created by the resignation of Mr. James Golden. The Library Board interviewed Ms. Joan Howard and Ms. Kayla Jacobson for the position. The Library Board recommends that Council approve the appointment of Ms. Kayla Jacobson to the Library Board with a term to expire June 30, 2017.

ACTION: (Approve - Deny) The appointment of Ms. Kayla Jacobson to the Library Board with a term to expire June 30, 2017.

Department: Library and Cultural Affairs

Reference Material: [Draft minutes of September 8, 2016 Library Board Meeting](#)

C3 CHANGE ORDER NO. 1 AND FINAL PAYMENT FOR PROJECT 14/012, PARK BLVD PHASE IV DRAINAGE IMPROVEMENTS - MTM Contractors, Inc.

NOTE: Change Order No. 1 is recommended for approval so that the final payment can be processed and the contract closed out. The amount represents a decrease of the original contract amount by 1.31%. The total amount of the original contract is \$5,999,003.38 and the final payment of \$312,608.21 is to be charged to account numbers 301-382-5-761-08, 301-382-5-756-54 and 301-381-5-776-01. The Engineering Services Division will prepare final funding reimbursement requests for Florida Department of Transportation and Southwest Florida Water Management District participation by agreement.

ACTION: (Approve - Deny) Authorization for approval and acceptance of Change Order No. 1, Project 14/012, Park Blvd Phase IV Drainage Improvements, a decrease in the contract amount of \$78,389.13 and authorization for final payment of \$312,608.21 to MTM Contractors, Inc. to

be charged to the appropriate accounts.

Department: Public Works

Reference Material: [Change Order, Final Invoice](#)

C4 CHANGE ORDER NO. 1 AND FINAL PAYMENT FOR PROJECT 16/015, PIPE REPLACEMENT - Keystone Excavators, Inc.

NOTE: Change Order No. 1 is recommended for approval so that the final payment can be processed and the contract closed out. The amount represents a decrease of the original contract amount by 11.68%. The total amount of the contract is \$80,371.20 and the final payment of \$4,018.56 is to be charged to account 301-382-5717-03.

ACTION: (Approve - Deny) Authorization for approval and acceptance of Change Order No.1, Project 16/015, Pipe Replacement, a decrease in the contract amount of \$10,621.90, for a total adjusted contract amount \$90,993.10 and authorization for final payment of \$4,018.56 to Keystone Excavators, Inc. to be charged to the appropriate account.

Department: Public Works

Reference Material: [change order, final invoice](#)

C5 AWARD OF BID 16/002 - DESIGN / BUILD PUBLIC WORKS OPERATION CENTER - Bandes Construction Company, Inc.

NOTE: Two (2) bids were received with Bandes Construction Company, Inc. (1368 Spalding Road, Suite C, Dunedin, FL 34698) being the low bidder with a bid submittal of \$4,957,644.00. The amount budgeted for this project is \$4,957,644.00. This project will be charged to account 301175-575902.

ACTION: (Approve - Deny) Authorization to award Bid 16/002 for Design / Build Services for Public Works Operation Center to Bandes Construction Company, Inc., Dunedin, FL, in the amount of \$4,957,644.00 to be charged to the appropriate account.

Department: Public Works

Reference Material: [bidder's list, bid book available for review, Bandes Construction package, city attorney letter](#)

V. REGULAR AGENDA

VI. COMMENTS BY COUNCIL MEMBERS AND QUESTIONS – COUNCIL TO COUNCIL

VII. ADJOURNMENT

PLEASE NOTE that if a person decides to appeal any decision made by City Council with respect to any matter considered at the above-cited meeting, the person will need a record of the proceedings and, for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City maintains a digital recording of all public hearings. In the event that you wish to appeal a decision, the digital recording may or may not adequately insure a verbatim record of the proceedings; therefore, you may wish to provide a court reporter at your own expense (Section 286.0105, Florida Statutes).

FOR THE HEARING IMPAIRED — An interpreter for the hearing impaired will be made available upon requests made at least 72 hours in advance.

OCTOBER

SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
						1
2 Islamic New Year Orchestra Concert Performing Arts Center	3 Rosh Hashanah Begins	4 Rosh Hashanah Ends	5	6	7 German American Society Oktoberfest	8 German American Society Oktoberfest
9	10 Columbus Day (obsvd)	11 7:30 PM Council Workshop	12 Yom Kippur Pancake Breakfast Senior Center Sacred Heart Fall Festival	13 Sacred Heart Fall Festival 7:00 PM Agenda Session 7:30 PM Council Meeting	14 German American Society Oktoberfest Sacred Heart Fall Festival	15 German American Society Oktoberfest Sacred Heart Fall Festival
16 Sacred Heart Fall Festival	17 Sukkot Begins	18 Organ Concert City Auditorium	19	20	21	22
23 Sukkot Ends	24	25 7:30 PM Council Workshop	26	27 7:00 PM Agenda Session 7:30 PM Council Meeting	28	29
30	31 Halloween "Treats You Can Trust" Treat Trail England Brothers Park				<div>SEPTEMBER</div> <div>S M T W T F S</div> <div>1 2 3</div> <div>4 5 6 7 8 9 10</div> <div>11 12 13 14 15 16 17</div> <div>18 19 20 21 22 23 24</div> <div>25 26 27 28 29 30</div>	<div>NOVEMBER</div> <div>S M T W T F S</div> <div>1 2 3 4 5</div> <div>6 7 8 9 10 11 12</div> <div>13 14 15 16 17 18 19</div> <div>20 21 22 23 24 25 26</div> <div>27 28 29 30</div>

NOVEMBER

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NOVEMBER

SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
		1	2	3	4	5
						Wesleyan Fall Festival
6	7	8	9	10	11	12
Daylight Saving Time Ends Orchestra Concert Performing Arts Center		General Election Day 7:30 PM Council Workshop	Pancake Breakfast Senior Center	7:00 PM Agenda Session 7:30 PM Council Meeting	Veterans Day City Offices & Library Closed	
13	14	15	16	17	18	19
		Organ Concert City Auditorium	National League of Cities	National League of Cities	National League of Cities	National League of Cities
20	21	22	23	24	25	26
		7:00 PM Agenda Session 7:30 PM Council Meeting		Brush Site Closed No Trash Pick-Up Thanksgiving Day City Offices & Library Closed	Thanksgiving Holiday City Offices & Library Closed	
27	28	29	30		OCTOBER	DECEMBER
					S M T W T F S	S M T W T F S
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					23 24 25 26 27 28 29	25 26 27 28 29 30 31
1st Sunday in Advent					30 31	



City of Pinellas Park

Staff Report

File #: 16-210, Version: 1

Agenda Date: 10/13/2016

CONSIDERATION OF A REQUEST FOR A WAIVER TO STREETScape LANDSCAPING AS REQUIRED WITH THE PROPOSED ADDITION OF BUILDING AREA ON A PARCEL GENERALLY LOCATED AT 12450 49TH STREET. (MS 2016-28, Alro Metals, Corp.)

FIRST AND FINAL PUBLIC HEARING - (QUASI- JUDICIAL)

(Speaker - Dean Neal, Zoning Director)

NOTE: The applicant is requesting a waiver to the installation of streetscape landscaping as required by Sec. 18-1533.8, *Landscape requirements for sites proposing building or vehicular use area expansion*. The frontage to 49th Street is currently paved to the property line. With the addition of approximately 18% of building area, 25% of the Landscape Code must be brought into compliance through the streetscape, which consists of six square feet per linear foot of frontage, one tree per 40 feet of frontage and a continuous hedge. The applicant will be required to pay into the Tree Bank Fund for one canopy tree, two intermediate trees, one understory tree and 42 hedge plants. The surrounding land uses consist of: to the north, Alro Manufacturing; to the east, Industrial supply facility; to the south, heating and air conditioning office; to the west, Duke Energy Power Easement.

ACTION: (Approve - Deny) After review of the criteria for Landscape Waivers in Section 18-1533 for a parcel of land generally located at 12450 49th Street, I move to APPROVE/DENY Case No. MS 2016-28, subject to the following condition:

1. The applicant shall make a payment equal to the cost of one (1) canopy tree, two (2) intermediate trees, one (1) understory tree and forty-two (42) hedge plants to the City's Tree Bank Fund prior to issuance of Certificate of Occupancy.

I. GENERAL INFORMATION

A. Request:

Consideration of a request for a waiver to streetscape landscaping as required with the proposed addition of building area on a parcel generally located at 12450 49th Street.

- | | |
|--------------------------|--|
| B. Proposed use: | Expansion to existing building and use |
| C. Location: | 12450 49 th Street |
| D. Site Area: | 1.42 acres (MOL) |
| E. Land Use Designation: | Industrial Limited (IL) |
| Zoning Classification: | "M-1" Light Industrial |
| F. Public Notification: | September 30, 2016 |
| G. Legal Advertising: | September 30, 2016 |
| H. Legal Description: | See attached Exhibit "A" |

II. SITE AND VICINITY CHARACTERISTICS

A. Zoning/Development History:

This parcel is part of the original Pinellas Groves Subdivision as recorded in Plat Book 1, Page 55. According to the Property Appraiser's website, an 8,400 square foot metal building was constructed in 1973 and a 15,750 square foot metal building was constructed in 1984. The property was annexed into the City by Ordinance No. 2842 on March 8, 2001.

B. Site Characteristics:

This parcel is currently developed with metal manufacturing buildings on the southern side of the parcel and associated vehicular use area on the north side. An approximately 300 foot wide Duke Energy easement is located to the west of the property. There is parking and pavement along the frontage on 49th Street, inhibiting the ability to install landscaping without removing pavement.

C. Vicinity Characteristics:

AREA	LAND USE PLAN MAP	ZONING	EXISTING CONDITIONS
NORTH	IL	M-1	Alro Manufacturing and Industrial Supply
SOUTH	IL (county)	M-1 (county)	Heating and air conditioning office
EAST	IL	M-1	Industrial supplies
WEST	IL	M-1	Duke Energy Power Easement

D. Essential Services Summary:

Assistant City Manager/Community Dev. Admin:	No objection
Zoning Director:	No objection
Community Planning:	No objection
Building Division:	No objection
Police Department:	No objection
PPWMD:	No objection
Life Safety Management:	No objection

Public Works Division:

Administrator:

No objection

Engineering Services:

No objection

Utilities Dir:

No objection

Transportation & Stormwater:

No objection

Pinellas County Public Schools:

No objection

FDOT:

Comment:

No objection to the request. However, if the contractor chooses to or is directed to perform work within the Department's right-of-way, the Department would like to be notified for review and possible permits may be required.

III. SECTION 18-1533.22 LANDSCAPE WAIVERS

In determining whether any requirements of this Section should be waived, the City Council or Community Redevelopment Agency, as applicable, shall consider the following criteria:

1. Purpose of Requirement. Whether the purpose of the requirement is otherwise fully achieved, or more important purposes of this Ordinance, the Comprehensive Plan, or the Community Redevelopment Plan will be served thereby, or the requirement serves no valid public purpose in the particular case;
2. Public Interest, Adjacent Property. Whether the waiver will create an adverse impact; on the public interest or on the adjacent property, and whether all necessary alternative measures shall be taken by the applicant to prevent any such impact;
3. Property Size Configuration, Natural Feature. Whether the size, configuration, and/or natural features of the property involved present a hardship on the development of the property;
4. Surrounding Property. The size, character, configuration, zoning, natural features of and use of the surrounding property; and
5. Hardship. Whether the need for the waiver is the result of a self-imposed hardship.

Request for a waiver to the requirement for streetscape landscaping with the addition of building area.

Analysis: The proposed building addition represents an 18% building area increase on site; therefore, 25% of landscaping must be brought into compliance. The streetscape is the first portion to be improved. The site is currently developed with pavement and parking along the front property line as well as the entire length of the north, side property line. The building increase will be joining two existing buildings together in the center of the site; therefore, the new addition will not be seen from 49th Street. In order to provide streetscape landscaping of six square feet per linear foot of frontage, one tree per 40 linear feet and a continuous hedge, the pavement would be need to be removed and as a result, required parking spaces would be removed.

IV. DEVELOPMENT CONSIDERATIONS

1. Any signage will need to comply with Article 6 of the Land Development Code.

V. MOTION

After review of the criteria for Landscape Waivers in Section 18-1533 for a parcel of land generally located at 12450 49th Street, I move to APPROVE/DENY Case No. MS 2016-28, subject to the following condition:

1. The applicant shall make a payment equal to the cost of one (1) canopy tree, two (2) intermediate trees, one (1) understory tree and forty-two (42) hedge plants to the City's Tree Bank Fund prior to issuance of Certificate of Occupancy.

City of Pinellas Park, Florida
APPLICATION FOR MISCELLANEOUS CASES

FOR OFFICE USE ONLY

CASE # MS 2016-28 PZ MEETING: _____ CC MEETING: 10/13/16
PLAT SHEET: D-16 RELATED CASES: RECEIPT NUMBER: 244144
ZONING DISTRICT: M1 LAND USE DESIGNATION: IL DATE RECEIVED: 9/7/16

REQUEST AND PROPERTY INFORMATION

REQUEST (CHECK ONE):

- _____ Preliminary site plan approval ("M-1" & "IH" abutting or functionally abutting residential/mixed use zoning districts)
_____ Preliminary site plan approval "T-2", "P", "OS", "PRES"
_____ Alcoholic Beverage Waiver
☒ _____ Waiver of Separation Requirements for Clubs/Lodges
_____ Landscape Waiver
_____ Release of Unity of Title
_____ Lot Line Adjustment
_____ Other Miscellaneous

SPECIFIC REQUEST: REQUEST LANDSCAPE WAIVER, EXISTING SITE PAVEMENT PARKING SPAN FROM EAST END OF BUILDING TO SIDEWALK ALONG 49:

GENERAL LOCATION OF PROPERTY OR ADDRESS: 12450 - 49 ST. NORTH

PROPERTY SIZE (Acreage / Square Feet): 61,365 SF

CURRENT USE (Number and Type of Buildings): TWO PRE ENGINEERED METAL BUILDINGS

PARCEL NUMBER(S): 09-30-16-70992-400-0403

LEGAL DESCRIPTION: LOT _____, BLOCK _____, SUBDIVISION _____

OR METES AND BOUNDS DESCRIPTION (attach is lengthy):

SEE ATTACHED

OWNER/APPLICANT INFORMATION

PROPERTY OWNER: ALRO METALS SVC CTR CORP PHONE: (407) 678 2576

ADDRESS/CITY/ZIP: 12450 - 49 ST NORTH, CLEARWATER, FL 33762

AUTHORIZED AGENT: A.J. CALLAGHAN CO INC PHONE: (227) 573 2505

ADDRESS/CITY/ZIP: 10525 - 49 ST NORTH, CLW, FL. 33762

OTHER REPRESENTATIVE: CHARLIE BOYETTE PHONE: (727) 480 6619

ADDRESS/CITY/ZIP: 10525 - 49 ST NORTH, CLW, FL. 33762

AFFIDAVIT OF OWNERSHIP

STATE OF FLORIDA - COUNTY OF PINELLAS:

NAME OF ALL PROPERTY OWNERS, being first duly sworn, depose(s) and say(s):

Alro Metals Service Center Corporation

(Metals SVC Center Corp) - per Pinellas County Taxing Authority

1. That (I am/we are) the owner(s) and record title holder(s) of the following described property, to wit:

ADDRESS OR GENERAL LOCATION:

12490 49th St N

LEGAL DESCRIPTION OF PROPERTY. Type legal directly on this sheet. If too lengthy, type on separate sheet titled "Exhibit A" and attach:

Pinellas Groves, SE 1/4 N 125ft of S 1000 ft of lots 4 & 5
less R/W on E + Less FL Power

2. That this property constitutes the property for which an application is being made to the City of Pinellas Park, Florida (NATURE OF REQUEST):

Building expansion

3. That the undersigned (has/ave) appointed and (does/do) appoint PJ Callaghan as (his/her) agent(s) to execute any petitions or other documents necessary to affect such application.
Construction

4. That this affidavit has been executed to induce the City of Pinellas Park, Florida, to consider and act on the above described property; to include City representatives to enter up property to make inspections as are necessary to visualize site conditions and/or determine compatibility.

[Signature]

SIGNED (PROPERTY OWNER)

James E. Norman, VP and Treasurer-Alro Steel Corp (Parent Company)

SIGNED (PROPERTY OWNER)

STATE OF FLORIDA
COUNTY OF Michigan
Jackson

The foregoing instrument was acknowledged before me this

9/7/16

(Date)

By James E Norman

(Type of person acknowledging and title of position)

who is personally known to me or who has produced

(Type of Identification)

as Identification and who did (did not) take an oath.

Julie M. Hankerd

Notary Public, Commission No.

5/31/20

(SEAL ABOVE)

JULIE M. HANKERD
Notary Public, State of Michigan
County of Jackson
My Commission Expires May 31, 2020
Acting in the County of Jackson

Name of Notary typed, printed or stamped)

LEGAL DESCRIPTION:

PINELLAS GROVES SE 1/4, N 125FT OF
S 875FT OF LOTS 4 & 5 LESS RD R/W
ON E & LESS FL POWER R/W ON W
(61,365 S.F. m.o.l.)

12450 49th Street N
Clearwater, FL

MS 2016-28 12450 49th Street, Clearwater, FL



September 9, 2016

Inellas Park

Neighboring Cities

SEMINOLE

Unincorporated

- Municipal Boundary
- Annexations

- KENNETH CITY
- LARGO

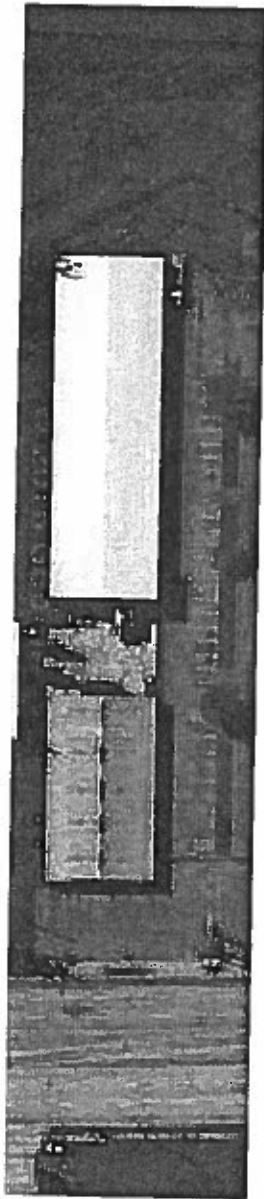
- ST PETERSBURG

- Unincorporated Areas

1:4,724

0 0.04 0.08 0.16 mi

Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, US Coast Guard, NPS, NRCAN, Geobase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), Swisstopo, Mapbox, OpenStreetMap contributors, and the GIS User Community



LEGAL DESCRIPTION:

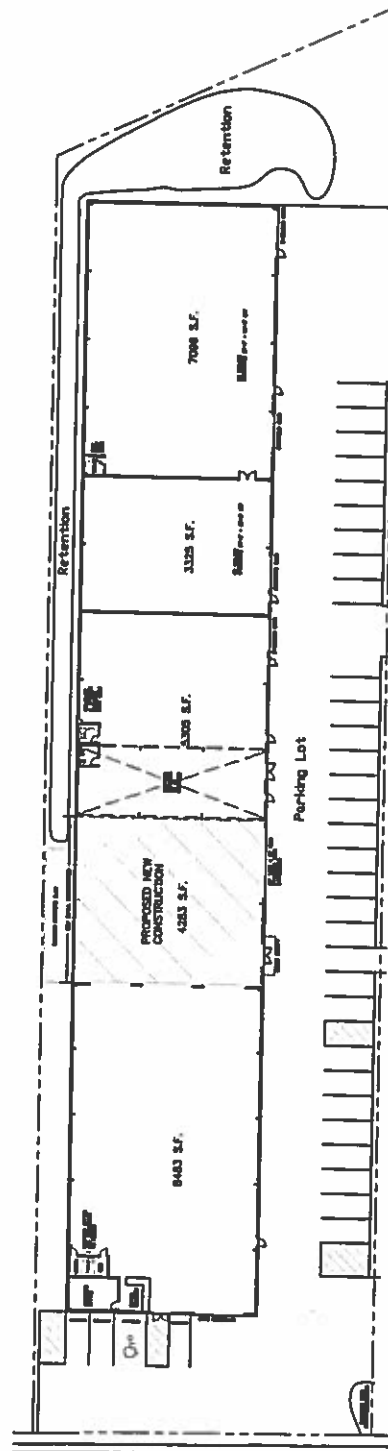
PHILLIPS GROVES SE 1/4, N 125FT OF
S 875FT OF LOTS 4 & 5 L333 RD R/W
ON E & LESS PL. POWER R/W ON W
(81,385 S.F. more or less)

12450 49th Street N
Clearwater, FL



8,433 S.F. EXISTING BUILDING
3,325 S.F. EXISTING BUILDING
7,090 S.F. EXISTING BUILDING
24,308 S.F. EXISTING BUILDING
4,283 S.F. EXISTING BUILDING

4,283 S.F. PROPOSED BUILDING + 24,308 S.F. EXISTING BUILDING = 10K



GENERAL NOTES
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

ALRO METALS
WAREHOUSE ADDITION

RICHARD B. BARNES
12450 49th Street N
Clearwater, FL 34625
Phone: (727) 441-1111
Fax: (727) 441-1112

JAMES W. COLLIER, AIA
FL. Lic. 10000

ISSUED BY	DATE	REVISION

CHECK FOR PLANNED PURPOSE	
NO.	DATE

P.J. CALLAGHAN
CONSTRUCTION
12450 49th Street N
Clearwater, FL 34625

ALRO METALS
12450 49th Street N
Clearwater, FL 34625

SHEET
LV-1
DATE: 06/01/16
SCALE: AS NOTED

FILE
MS 2016-28



City of Pinellas Park

Staff Report

File #: 16-212, Version: 1

Agenda Date: 10/13/2016

CONSIDERATION OF A PRELIMINARY SITE PLAN FOR DEVELOPMENT OF “M-1” LIGHT INDUSTRIAL ZONED PROPERTY GENERALLY LOCATED AT 7025 90TH AVENUE THAT FUNCTIONALLY ABUTS RESIDENTIAL PROPERTY TO THE SOUTH. (MS 2016-29, STSC Properties, LLC)

FIRST AND FINAL PUBLIC HEARING - (QUASI- JUDICIAL)

(Speaker - Dean Neal, Zoning Director)

NOTE: The applicant is requesting consideration of an application to redevelop a 3.42 acres (MOL) parcel of land generally located at 7025 90th Avenue in the “M-1” Light Industrial Zoning District. The parcel functionally abuts an “RPUD” Residential Planned Unit Development to the south. The subject property is currently occupied by a frozen food trucking business and is developed with a 2,100 square foot office building and an 800 square foot accessory structure. Section 18-1524.5(G) of the Land Development Code requires City Council approval of site plans for any property located within the “M-1” Light Industrial Zoning District that abuts or functionally abuts residentially zoned property. The applicant has committed to meeting all requirements of this section of Code, which are detailed in the staff report. The site plan shows two phases of the project which will be restricted by a timeline through conditions of this approval. Phases I and IA are proposed as development for use by the applicant, Carr and Sons Masonry. Phase II will be constructed at a later date, within 5 years of approval. The 3.42 acre site is designed to meet all Code requirements with the complete build out. As per Section 18-1503.8, all properties proposing development on an insufficient right-of-way must measure all required yards from the ultimate right-of-way line; therefore, the owner must reserve 15 feet in the front of the property for the City to improve 90th Avenue to sufficient width. According to the site plan, all setbacks and landscaping have been measured from this point and will meet the requirement.

The surrounding land uses consist of: to the north, Transitions Optical; to the east, warehouse and manufacturing in County jurisdiction; to the south, St. Hagop Church subdivision; to the west, Straubinger industrial.

ACTION: (Approve - Deny) After review of this staff report which provides analysis of the review criteria, enumerated in Sections 18-1524.5(F)1 and 18-1524.5(G)2, and standards controlling the development of “M-1” Light Industrial District parcels that functionally abut residential zoning districts for a parcel of land generally located at 7025 90th Avenue, I move to (APPROVE/DENY) Case No. MS 2016-29, subject to the following conditions:

1. As defined in the site plan prepared by Deuel and Associates and submitted to the Zoning Division on September 8, 2016, Phase I shall be completed by the end of December 2017 and Phases IA and II shall be completed no later than 5 years from the date of approval.

2. The Zoning Director shall have the ability to administratively grant minor revisions to this phase plan or an extension for up to one year for any phase. Any additional extension or major revision to the plan must be reviewed by City Council. Requests for extension and/or revision must be submitted to the Zoning Division no later than 60 days prior to expiration of the phase build out date.

=====ZONING DIVISION=====	
CASE NUMBER: MS 2016-29	OWNER: Steve Wicks, STSC Properties, LLC Shane Carr, STSC Properties, LLC
CC HEARING: October 13, 2016	AGENT: Marci Forbes, PE, Deuel & Associates
=====	

I. GENERAL INFORMATION

- | | | |
|----|----------------------------|--|
| A. | Request: | |
| | | Consideration of a preliminary site plan for development of "M-1" Light Industrial zoned property generally located at 7025 90 th Avenue that functionally abuts residential property to the south. |
| B. | Proposed use: | Carr and Sons Masonry – office and warehouse |
| C. | Location: | 7025 90 th Avenue |
| D. | Site Area: | 3.42 acres (MOL) |
| E. | Land Use Plan Designation: | Industrial Limited (IL) |
| | Zoning Classification: | "M-1" Light Industrial |
| F. | Public Notification: | September 30, 2016 |
| G. | Legal Advertising: | September 30, 2016 |
| H. | Legal Description: | See Attached Exhibit "A" |

II. SITE AND VICINITY CHARACTERISTICS

A. Zoning/Development History:

This property is a part of the original Pinellas Farms Subdivision as recorded in Plat Book 0H7, Page 4. A single family home was constructed in 1941 and still remains today as an office for a food trucking and distribution business. The parcel was annexed into the City in 2012 by Ordinance No. 3794.

B. Site Characteristics:

The site is located approximately 400 feet east of Belcher Road on the north side of 90th Avenue. To the south is an "RPUD" Residential Planned Unit Development, triggering this preliminary site plan application. The southern portion of the site is developed with two buildings that are currently used for "Global Frozen", a frozen food distribution company. One is a 2,100 square foot single family home that is used as an office. The other building is an approximately 800 square foot accessory building. The northern portion of the property is undeveloped. This area of 90th Avenue is of insufficient width at 45 feet wide. The additional 15 feet will be required from the applicant at time of development of Phase II.

C. Vicinity Characteristics:

AREA	LAND USE PLAN	ZONING	EXISTING CONDITIONS
NORTH	IL	M-1	Transitions Optical
SOUTH	RL/RU	RPUD	St. Hagop Church Subdivision
EAST	IL (County)	M-1 (County)	Warehouse/manufacturing
WEST	IL	M-1	Straubinger industrial

D. Essential Services Summary:

Assistant City Manager: No objection

Zoning Director: Comment:

Will need conditions to handle phasing. Reservation of ROW condition to apply to redevelopment of the front half of the parcel.

Building Division: Comment:

Must meet the requirements of the Florida Building Code for site and proposed new construction.

Community Planning: No objection

PPWMD: No objection

FDOT: No objection

Life Safety Management: Comment:

Will need to review final site plan.

Police Department: No objection

Pinellas County Public Schools: No objection

Public Works Division:

Administrator: No comment

Engineering Services: No comment

Utilities Dir: No comment

Transportation & Stormwater: Comment:

Installation of storm inlets may be required along 90th Ave to help with the runoff from 90th Ave.

III. MASTER SITE PLAN REVIEW

- A. Ingress and egress to the development and proposed structures and all with particular reference to automotive and pedestrian safety, separation of automotive traffic and control, provision of services and servicing of utilities and refuse collection and accesses in case of fire, catastrophe and emergency.

Analysis: The main drive aisle for the rear buildings, described as Phase I, is located on the west side of the parcel adjacent to a proposed linear retention pond that extends the length of the parcel. Access to Phase II of the development will be provided via a second drive aisle exclusively open to the Phase II parking lot. There are dumpster enclosures planned for each phase. Phase I includes a large vehicular use area in order for trucks to turn around easily.

Traffic impacts are as follows:

1. Characteristics:

ACCESS / DESIGNATION	
90 th Avenue	Local
EXISTING CONDITIONS	
90 th Avenue	Two lane undivided

2. Trip Generation:

BY EXISTING USE - Warehousing
3.6 trips/day/1,000 SF x 2,900 SF = 10 trips per day
BY PROPOSED ZONING/LAND USE – warehouse/office/general industrial
3.6 trips/day/1,000 SF x 16,157 SF = 58 trips per day
16.3 trips/day/1,000 SF x 4,300 SF = 70 trips per day
7.0 trips/day/1,000 SF x 22,000 SF = 154 trips per day
TOTAL = 282 trips per day

3. Level of Service:

90 th Avenue	None
-------------------------	------

*LOS not assigned to local streets.

- B. Location and relationship of off-street parking and off-street loading facilities to driveways and internal traffic patterns within the proposed development with particular reference to automotive and pedestrian safety, traffic flow and control, access in case of fire or catastrophe, and screening and landscaping.

Analysis: The parking for the rear portion will be located adjacent to the office building. Loading will be facing west toward the retention area and industrial property to the west. In the front portion of the parcel, a driveway leads to a parking lot exclusive to the Phase II buildings. Loading for the proposed units will be facing east and west toward the parking lot. Phase I will include the required parking for 4,300 square feet of office and 16,157 square feet of manufacturing; 36 parking spaces. With the construction of Phase II, an additional 29 parking spaces will be developed to accommodate for the additional 22,000 square feet of manufacturing area. No overhead doors are proposed facing the residentially zoned property.

- C. Sufficiency of setbacks, screens, buffers and general amenities to preserve internal and external harmony and compatibility with uses inside and outside the proposed development and to control adverse effects of noise, lights, dust, fumes, and other nuisances.

Analysis: Code compliant screening and landscape buffering is proposed for the development. Code requires a 10-foot-wide buffer to be provided along the property line that functionally abuts the residentially zoned property to the south. The applicant has proposed this 10 foot buffer with associated trees and hedges to be outside of the 15-foot-wide area that must be reserved for future right-of-way. The interior perimeters will be

landscaped with a 5-foot-wide buffer, 1 tree per 50 feet of vehicular use area and a continuous hedge where abutting vehicular use area.

- D. Drainage on the property with particular reference to the effect of provisions for drainage on adjacent and nearby properties and the use of on-site retention systems. City Council may grant approval, subject to approval by the City Manager, or his designee, of a drainage plan as required by the City Drainage Ordinance.

Analysis: The site illustrates a retention pond along the western property line as well as a pond toward the center of the property. The development of the parcel will require meeting all drainage requirements of SWFWMD and the City and will be addressed on the Final Site Plan.

- E. Available and compatibility of hook-in locations between the project and necessary utilities.

Analysis: The property has adequate access to necessary utility connections. Details to such facilities will be reviewed with final site plan.

- F. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effects, and compatibility and harmony with adjacent properties.

Analysis: There are no sign details included in this site plan. All signage must meet the requirements of Article 6, Land Development Code, "Signs". Exterior lighting is not depicted on the site plan. All outdoor lighting must be designed and situated so as to maximize containment of the emitted illumination on the subject parcel. No spillover lighting shall be purposely directed onto the abutting residential properties. Lighting should not conflict with required landscaping.

- G. Orientation and location of buildings, recreational facilities and open space in relation to the physical characteristics of the site, the character of the neighborhood and the appearance and harmony of the building with adjacent development surrounding landscape.

Analysis: The buildings in the rear of the property are located along the east property line, leaving a large vehicular use area giving trucks the ability to turn around. The buildings in the front are oriented inward towards the centrally located parking lot. There are no recreational facilities as this is an industrial development. Open space is concentrated to the west and in the center of the property in the form of storm water retention/detention areas. There is approximately 30% green space proposed with the final build out of all phases.

- H. Proximity, relationship and compatibility of existing and proposed surrounding land use.

Analysis: The site functionally abuts residentially zoned property to the south, and abuts "M-1" Light Industrial to the north, east and west. The proposed use of the subject property are a concrete contracting office and industrial warehouse buildings. The future Phase II of

the project will consist of workshop/warehouse style buildings for lease to industrial users. The site plan depicts a concrete block wall around the majority of the site.

- I. General amenities included as part of the development complement the character of the surrounding area.

Analysis: N/A

- J. Treatment and location of handling of solid waste disposal.

Analysis: The site plan illustrates two dumpster enclosures. The enclosures shall meet Code requirements per Section 18-1530.20, Dumpsters.

- K. Landscaping and preservation of natural or man-made features of the site including trees and other vegetation.

Analysis: The site plan depicts Code compliant landscaping throughout.

IV. PRELIMINARY SITE PLAN APPROVAL REQUIREMENTS

In any case where an "M-1" lot abuts or functionally abuts a residential or mixed use zoning district, City Council shall review and approve a preliminary site plan pursuant to the procedures and requirements of Section 18-1540, "Preliminary Site Plan Requirements". Additionally, the petitioner shall submit a letter detailing the type of development proposed, the hours of operation, and the characteristics of operation of the development, including the amount and type of traffic (passenger cars and heavy trucks) anticipated. All preliminary site plans, final site plans, engineering permits and architectural plans shall demonstrate conformance with the Locational Design Standards in Section 18-1524 below. Minor amendments to site plans that remain consistent with these Locational Design Standards may be approved by the City Manager or his designee.

- (F) 1. Locational Design Standards. The preliminary site plan, final site plan and building plans shall show conformance with the following locational design standards:

- (a) General Standards

- (1) Performance standards shall be as set forth in Section 18-1524.5 (E) above;

- Analysis: Performance standards shall be met.

- (2) Illumination shall be in accordance with the standards of Section 18-1503.15;

- Analysis: Illumination shall meet requirements of Code.

- (3) Any outdoor storage areas shall be in accordance with standards of Section 18-1530.11.

Analysis: There is no outdoor storage requested with this application.

- (G) 2. Specific Locational Design Standards for Property Abutting or Functionally Abutting Residential or Mixed Use Zoning Districts and Proposed for Development or Redevelopment after November 1, 2010. As in (F) above, all plans submitted for various permits and/or development orders on vacant parcels being developed or previously developed parcels being redeveloped after November 1, 2010, shall demonstrate conformance with the following design standards.

Functionally Abutting Residential or Mixed Use Zoning Districts

- (a) All noise generating mechanical equipment, including, but not limited to, air conditioning and refrigeration units, fans, vents, compressors, compactors, vacuums, and similar equipment, shall be placed twenty-five (25) feet from the lot line closest to the residential property and shall exhaust away from said property to minimize the industrially generated noise.

Analysis: The location of this equipment has not yet been determined at this time. The applicant has committed to meeting this requirement.

- (b) Only egress doors for people may face said property. No door that provides access for vehicles or movement of equipment or materials, or for ventilation shall face said property, whether such door is an overhead, sliding, or other type of similar door.

Analysis: All overhead doors are proposed facing east and west; toward side property lines and other "M-1" zoned properties. Man-doors only are proposed facing south toward the residential neighborhood.

- (c) Loading areas, loading docks, and/or shipping/receiving areas/facilities shall be screened from view by wing walls or recessed into the building. Where an intervening structure lies between the loading/unloading facilities and the residential lot(s), additional screening is not required.

Analysis: The loading areas are proposed facing east and west. In addition, a concrete block wall is proposed around perimeters of Phase I. All Phase II loading facilities will be screened by recession into the building or walls.

- (d) No outdoor storage area shall be permitted within ten (10) feet of abutting or functionally abutting residential or mixed use district property lines. If the height of storage items exceeds the height of the eight (8) feet high buffer wall, then additional visual screening with a material able to withstand the various destructive elements of subtropical weather (i.e. UV radiation, humidity, wind, heat) shall be required equal to the height of said storage. Said screening shall be maintained in good condition so as not to diminish its functionality or visual appearance. Vehicles and mobile equipment of extraordinary height need not be screened above a height of eight (8) feet.

Additionally, activities within the outdoor storage areas shall be limited to the hours between 7:00 a.m. and 7:00 p.m.

Analysis: Currently, no outdoor storage is proposed.

- (e) Landscaping and buffering shall be provided in accordance with the provisions of Section 18-1533, except that a ten-foot wide landscaped buffer shall be maintained along the entire right-of-way of said property.

Analysis: This requirement shall be met. Streetscape landscaping is proposed beginning at the ultimate right-of-way line, as a result of the 15 foot wide reservation for the City's future expansion of 90th Avenue.

- (f) No dumpster(s) shall be visible from the public or private right-of-way; said dumpster(s) shall be screened from view by a solid fence or wall six (6) feet in height (including gates) and shall not be placed within five (5) feet of the property line.

Analysis: This requirement shall be met.

V. DEVELOPMENT CONSIDERATIONS

- 1. A Final Site Plan must be submitted for review and approval prior to the issuance of a permit.

VI. MOTION

After review of this staff report which provides analysis of the review criteria, enumerated in Sections 18-1524.5(F)1 and 18-1524.5(G)2, and standards controlling the development of "M-1" Light Industrial District parcels that functionally abut residential zoning districts for a parcel of land generally located at 7025 90th Avenue, I move to (APPROVE/DENY) Case No. MS 2016-29, subject to the following conditions:

- 1. As defined in the site plan prepared by Deuel and Associates and submitted to the Zoning Division on September 8, 2016, Phase I shall be completed by the end of December 2017 and Phases IA and II shall be completed no later than 5 years from the date of approval.
- 2. The Zoning Director shall have the ability to administratively grant minor revisions to this phase plan or an extension for up to one year for any phase. Any additional extension or major revision to the plan must be reviewed by City Council. Requests for extension and/or revision must be submitted to the Zoning Division no later than 60 days prior to expiration of the phase build out date.

City of Pinellas Park, Florida
APPLICATION FOR MISCELLANEOUS CASES

FOR OFFICE USE ONLY

CASE #MS 2016-29 PZ MEETING: _____ CC MEETING: 10/13/16
PLAT SHEET: A11-8 RELATED CASES: _____ RECEIPT NUMBER: 244147
ZONING DISTRICT: M-1 LAND USE DESIGNATION: IL DATE RECEIVED: 9/8/16

REQUEST AND PROPERTY INFORMATION

REQUEST (CHECK ONE):

- ☒ Preliminary site plan approval ("M-1" & "IH" abutting or functionally abutting residential/mixed use zoning districts)
- ☐ Preliminary site plan approval "T-2", "P", "OS", "PRES"
- ☐ Alcoholic Beverage Waiver
- ☐ Waiver of Separation Requirements for Clubs/Lodges
- ☐ Landscape Waiver
- ☐ Release of Unity of Title
- ☐ Lot Line Adjustment
- ☐ Other Miscellaneous

SPECIFIC REQUEST: To develop the parcel w/ an office building and warehouses per Pinellas Park code for M-1 Light Industrial
* Note - Parcel was annexed per ordinance No 3794, Annex no 12-2*

GENERAL LOCATION OF PROPERTY OR ADDRESS: 7025 90th Ave, Pinellas Park, FL

PROPERTY SIZE (Acreage / Square Feet): 3.42 Acres

CURRENT USE (Number and Type of Buildings): Global Frozen Trucking company w/ 2 wood framed buildings from 1941

PARCEL NUMBER(S): 19-30-16-69786-400-4101

LEGAL DESCRIPTION: LOT _____, BLOCK _____, SUBDIVISION _____

OR METES AND BOUNDS DESCRIPTION (attach if lengthy): Pinellas Farms SE ¼, E 229.89 ft of Farm 41

OWNER/APPLICANT INFORMATION

PROPERTY OWNER: S T S C Properties LLC/Steve Wicks & Shane Carr PHONE: (727) 526-9585

ADDRESS/CITY/ZIP: 3750 70th Ave, Ste A, Pinellas Park, FL 33781-4637

AUTHORIZED AGENT: Deuel & Associates / Marci Forbes PHONE: (727) 821-4151 ext 210

ADDRESS/CITY/ZIP: 565 S Hercules Ave, Clearwater FL 33764

OTHER REPRESENTATIVE: _____ PHONE: () _____

ADDRESS/CITY/ZIP: _____

AFFIDAVIT OF OWNERSHIP

STATE OF FLORIDA - COUNTY OF PINELLAS:

NAME OF ALL PROPERTY OWNERS, being first duly sworn, depose(s) and say(s):

SHANE CARR

STEVE WICKS

1. That (I am/we are) the owner(s) and record title holder(s) of the following described property, to wit:

ADDRESS OR GENERAL LOCATION:

7025 90th Ave, Pinellas Park, FL

LEGAL DESCRIPTION OF PROPERTY. Type legal directly on this sheet. If too lengthy, type on separate sheet titled "Exhibit A" and attach:

Pinellas Farms SE ¼, E 229.89 ft of Farm 41

2. That this property constitutes the property for which an application is being made to the City of Pinellas Park, Florida (NATURE OF REQUEST):

To redevelop the property in phases such that the buildout ultimately reflects the provided site plan

w/ the proposed development along the northern portion of the parcel to be first w/ full landscaping

3. That the undersigned (has/have) appointed and (does/do) appoint Marci Forbes w/ Deuel & Associates as (his/their) agent(s) to execute any petitions or other documents necessary to affect such application.

4. That this affidavit has been executed to induce the City of Pinellas Park, Florida, to consider and act on the above described property; to include City representatives to enter upon property to make inspections as are necessary to visualize site conditions and/or determine compatibility.

[Signature]
SIGNED (PROPERTY OWNER)

[Signature]
SIGNED (PROPERTY OWNER)

STATE OF FLORIDA
COUNTY OF Pinellas



(SEAL ABOVE)

The foregoing instrument was acknowledged before me this

7th day of Sept. 2016
(Date)

By Steve Wicks & Shane Carr
(Name of person acknowledging and title of position)

who is personally known to me or who has produced

(Type of Identification)

as Identification and who did (did not) take an oath.

Carol L Walk Notary Public, Commission No. FF914625

Carol L Walk Name of Notary typed, printed or stamped

ANNEXATION ORDINANCE LEGAL

Lion Holdings Group - AX12-2

PARCEL: 19/30/16/69786/400/4101

Located at: 7025 90th Avenue North

THE EAST 229.89' OF FARM 41, PINELLAS FARMS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLATBOOK 7, PAGES 4 & 5 OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMERLY A PART, ALSO THAT PORTION OF 90th AVENUE RIGHT OF WAY, BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST $\frac{1}{4}$ OF THE SOUTHEAST $\frac{1}{4}$ OF SECTION 19, TOWNSHIP 30 SOUTH, RANGE 16 EAST, RUN SOUTH $89^{\circ}07'11''$ EAST ALONG THE NORTH LINE OF SAID $\frac{1}{4}$ $\frac{1}{4}$ FOR 431.55' TO THE POINT OF BEGINNING; THENCE CONTINUE ON A BEARING OF SOUTH $89^{\circ}07'11''$ EAST FOR 229.89'; THENCE LEAVING THE NORTH LINE OF SAID $\frac{1}{4}$ $\frac{1}{4}$, RUN NORTH $00^{\circ}09'01''$ EAST 663.11'; THENCE NORTH $89^{\circ}02'58''$ WEST 229.89'; THENCE SOUTH $00^{\circ}09'01''$ WEST 663.39' TO THE POINT OF BEGINNING.

A PARCEL CONTAINING 3.50 ACRES M.O.L.

Project Narrative

7025 90th Ave North, Pinellas Park, FL

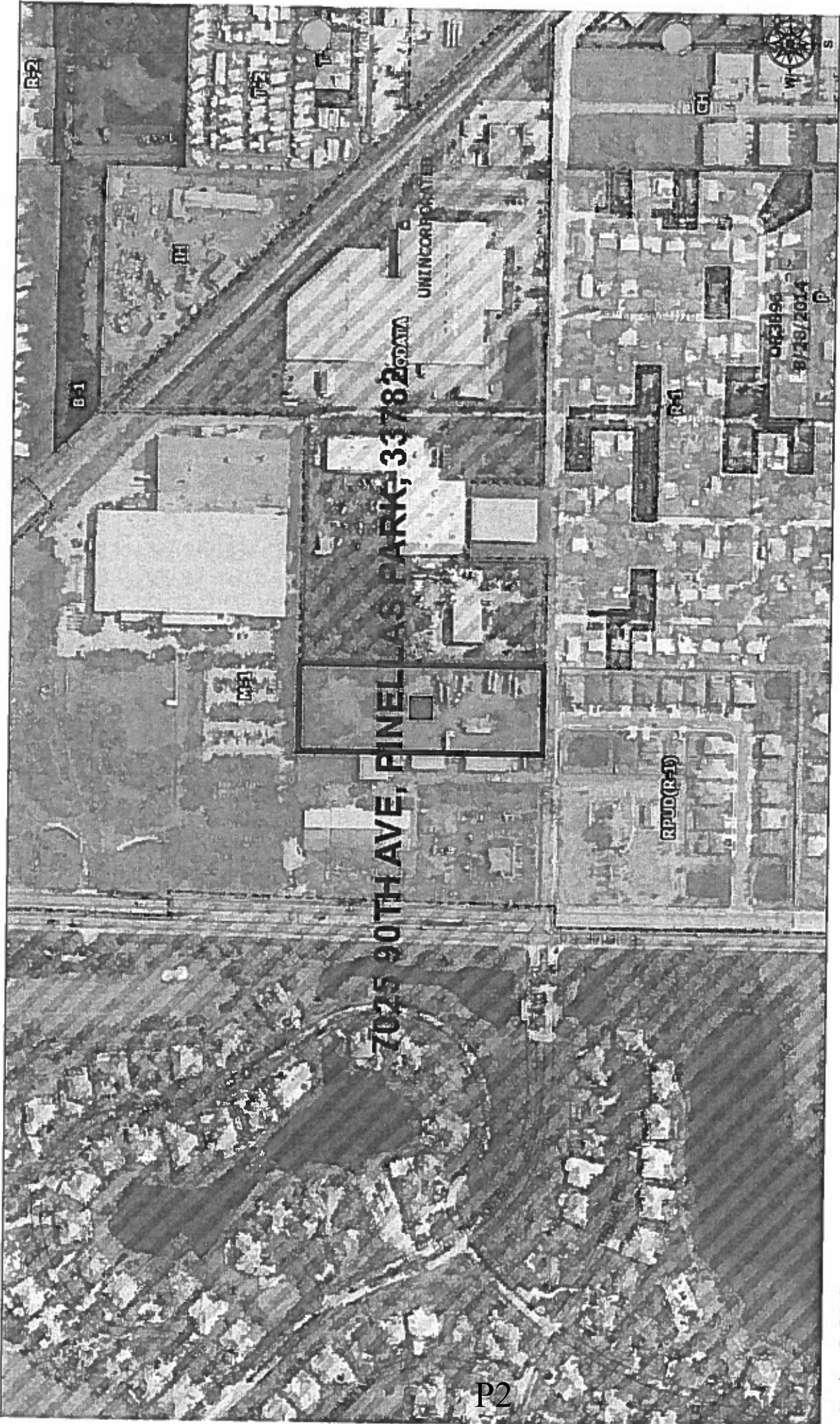
The parcel is approximately 3.42 acres, located on 90th Avenue, approximately 450 feet east of its intersection with Belcher Road. The parcel was annexed into Pinellas Park on February 9, 2012 via Ordinance No. 3794, Annex No. AX12-2, a copy of which has been provided as an attachment. The parcel is zoned M-1 (Light Industrial) as are the properties to the north, west and east. Residential development is located south of the parcel across 90th Avenue. The southern portion of the parcel is developed with two buildings and utilized by "Global Frozen" trucking company. As a first build out, the property owner would like to develop the northern half of the parcel for their company, Carr and Sons Masonry, Inc. Carr and Sons is a premier structural concrete and masonry construction company with over 40 years of experience. They would like to utilize the parcel for both office and warehouse space. The first buildings will be approximately 4,300 sf and 7,800 sf, leaving room for additional build out in the future if necessary.

Long term build out plans would remove the buildings on the southern half of the parcel and rebuild with two warehouse/office structures no larger than 12,000 s.f. each. Upon completion of this phase a 30" pipe will be installed to traverse the full front of the property and the current ditch will be backfilled.

All on-site construction will be in general accordance with M-1 standards, including building setbacks and impervious surface ratio. The site will be landscaped in accordance with Pinellas Park Land Development requirements. For drainage purposes, a 15 foot drainage easement along 90th Ave will be dedicated to Pinellas Park.

The proposed, long term build out of the property will be generally constructed as shown on the site plane dated August 2, 2016 by Deuel & Associates titled "STSC Properties Site Plan – Future Buildout with Landscaping".

MS 2016-29 7025 90TH AVENUE



September 9, 2016

Pinellas Park

Neighboring Cities

SEMINOLE

Unincorporated

ST PETERSBURG

Unincorporated Areas

KENNETH CITY

LARGO

Municipal Boundary

Annexations

1:4,724

0 0.04 0.08 0.16 mi

0 0.05 0.1 0.2 km

Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, US Coast Guard, NPS, NRCAN, Geobase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), Swisstopo, Mapbox, Mapbox, Mapbox, and the GIS User Community

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City of Pinellas Park

Staff Report

File #: 16-201, **Version:** 1

Agenda Date: 10/13/2016

AUTHORIZATION FOR THE MAYOR TO SIGN AN ADDENDUM TO AN ANNEXATION AGREEMENT DATED NOVEMBER 12, 2015, BETWEEN THE CITY OF PINELLAS PARK AND JAMES R. DES ROCHERS (AX15-14) - For property located at 6641 and 6661 67th Way North

PUBLIC HEARING, FIRST AND FINAL READING

(Speaker - Shannon Coughlin, Economic Development Manager)

NOTE: The City acknowledges that lots that have been developed in the Alston Park Subdivision do not have sidewalks; for this reason the City agrees to waive the requirement for installation of sidewalk as part of the development of this Property. The City shall also waive the rear setback requirement of 15 feet to allow a 10 foot setback.

C2 on 9/22/16 Council agenda, tabled to 10/13/16

ACTION: (Approve - Deny) Authorization for Mayor to sign an addendum to the annexation agreement dated November 12, 2015, between the City of Pinellas Park and James R. Des Rochers for the property located at 6641 and 6661 67th Way North.

ADDENDUM TO ANNEXATION AGREEMENT

This **ADDENDUM TO ANNEXATION AGREEMENT** made and entered into this _____ day of _____, 2016, by and between the **CITY OF PINELLAS PARK, FLORIDA**, a municipal corporation (hereinafter called the "CITY"), and **JAMES R. DES ROCHERS** (hereinafter called the "OWNER").

WHEREAS, the CITY and the OWNER entered into Annexation Agreement AX15-14 dated November 12, 2015 (hereinafter called the "Annexation Agreement"); and

WHEREAS, the OWNER has complied with the preliminary requirements of the Annexation Agreement; and

WHEREAS, since the time of the approval of the Annexation Agreement, there has been a material change of circumstances such that it is in the public interests to amend the Annexation Agreement; and

WHEREAS, the Parties have reached agreement with respect to the terms of the amendment of the Annexation Agreement, and wish to reduce their agreement in this regard to writing.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, it is agreed by and between the Parties as follows:

1. That the foregoing recitals are incorporated herein and made a part hereof.
2. That the CITY acknowledges that lots that have been developed in the Alston Park Subdivision do not have sidewalks; for this reason the CITY agrees to waive the requirement for installation of sidewalk as part of the development of this Property. Notwithstanding the foregoing, the OWNER recognizes and agrees that the CITY is expressly retaining the right to, at any time, install sidewalks within any public rights-of-way within the development, and to assess the Property OWNER, including the OWNER herein, for the cost thereof.
3. The CITY shall consider any implied or existing unity of title relating to previous lot configurations to be released thereby returning the subject parcel to conformance with the plat of Alston Park subdivision.
4. That in the event of a conflict between the terms of the Annexation Agreement and this Addendum to Annexation Agreement, the terms of this Addendum to Annexation Agreement shall control.
5. That except as expressly amended hereby, the Annexation Agreement, AX15-14, shall remain in full force and effect.

(Mayor's Initials)

JD
(Owner's Initials)

IN WITNESS WHEREOF, the Parties hereto have caused this Addendum to Annexation Agreement to be executed on the date first above written.

CITY OF PINELLAS PARK, FLORIDA

SANDRA L. BRADBURY, MAYOR

ATTEST:

DIANE M. CORNA, MMC
CITY CLERK

OWNER'S SIGNATURE:



JAMES R. DES ROCHERS, OWNER

APPROVED AS TO FORM AND CONTENT:

By: _____
JAMES W. DENHARDT, CITY ATTORNEY

STATE OF FLORIDA
COUNTY OF PINELLAS

The foregoing instrument was acknowledged before me this _____, 2016
(Date)
by SANDRA L. BRADBURY, Mayor, and DIANE M. CORNA, MMC, City Clerk, of
the CITY OF PINELLAS PARK, FLORIDA, a municipal corporation, on behalf of
whom the instrument was executed. (Name of person acknowledging and title of position)

Notary Public signature

(Name of Notary typed, printed or stamped)

(SEAL ABOVE)

Personally known _____ or Produced identification _____
Type of identification produced _____

ATTENTION NOTARY: Although the information requested below is OPTIONAL, it could prevent fraudulent attachment of this certificate to unauthorized document.

THIS CERTIFICATE MUST BE
ATTACHED TO THE DOCUMENT
DESCRIBED AT RIGHT:

Title or Type of Document ADDENDUM TO ANNEXATION AGREEMENT
Number of Pages 5 Date of Document _____
Signer(s) Other than Named Above NONE

STATE OF FLORIDA
COUNTY OF PINELLAS



AMANDA LYN CONTE
Notary Public - State of Florida
My Comm. Expires Feb 17, 2018
Commission # FF 124451
Bonded Through National Notary Assn.

(SEAL ABOVE)

The foregoing instrument was acknowledged before me this 9/6/, 2016
(Date)

by JAMES R. DES ROCHERS, OWNER
(Name of person acknowledging and title of position)

Amanda Lyn Conte Notary Public signature

Amanda Lyn Conte
Name of Notary typed, printed or stamped)

Personally known ☒ or Produced identification _____
Type of identification produced _____

ATTENTION NOTARY: Although the information requested below is OPTIONAL, it could prevent fraudulent attachment of this certificate to unauthorized document.

THIS CERTIFICATE MUST BE
ATTACHED TO THE DOCUMENT
DESCRIBED AT RIGHT:

Title or Type of Document ADDENDUM TO ANNEXATION
AGREEMENT
Number of Pages 5 Date of Document _____
Signer(s) Other than Named Above NONE

ANNEXATION AGREEMENT

DES ROCHERS

LEGAL DESCRIPTION

PARCELS: 31/30/16/00828/003/0080 and 31/30/16/00828/003/0070

Located at: 6641 and 6661 67th Way North

LOTS 7&8, BLOCK "C", ALSTON PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 24, PAGE 85, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, BEING FURTHER DESCRIBED AS FOLLOWS:

FROM THE SOUTHWEST CORNER OF LOT 8, BLOCK "C", ALSTON PARK, FURTHER DESCRIBED ABOVE, SAID POINT BEING THE POINT OF BEGINNING, RUN SOUTH 89°44'52" EAST 108.32'; THENCE NORTH 00°32'07" EAST 100.00'; THENCE NORTH 89°44'52" WEST 108.34' TO THE EAST RIGHT OF WAY LINE OF 67TH WAY NORTH, (MEADE STREET PER PLAT), THENCE SOUTH 00°31'20" WEST ALONG SAID RIGHT OF WAY LINE 100.00' TO THE POINT OF BEGINNING.

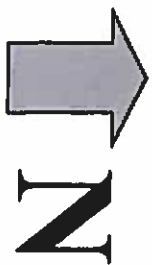
PARCELS CONTAINING 0.25 ACRES M.O.L.

SUPPLEMENT TO
ANNEXATION AGREEMENT ADDENDUM

James R. Des Rochers — AX15-14
Located at: 6641 and 6661 67th Way North

REVIEW COMMENTS

CITY MANAGER	REVIEWED
ASST. CITY MGR. /COMMUNITY DEV. ADMIN.	REVIEWED
BLDG. DEVELOPMENT	REVIEWED
FINANCE	REVIEWED
FIRE DEPARTMENT	REVIEWED
NEIGHBORHOOD SERVICES ADMINISTRATOR	REVIEWED
OMB ADMINISTRATOR	REVIEWED
COMMUNITY PLANNING DIVISION	REVIEWED
POLICE DEPARTMENT	REVIEWED
PUBLIC WORKS:	
ENGINEERING SERVICES	REVIEWED
STREETS & DRAINAGE	REVIEWED
TRAFFIC DIVISION	REVIEWED
UTILITIES DESIGN	REVIEWED
WATER & SEWER	REVIEWED
UTILITY BILLING DIVISION	REVIEWED
ZONING DIVISION	REVIEWED



31-30-16-00828-003-0070
6661 67th Way North

AX15-14

City of
PINELLAS PARK

5141 78TH AVE • P.O. BOX 1100
PINELLAS PARK, FL 33780-1100

Please Respond To:

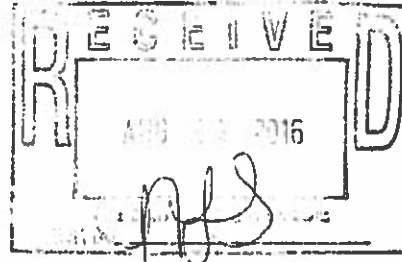
James W. Denhardt, City Attorney
Law Offices of James W. Denhardt
2700 First Avenue North
St. Petersburg, Florida 33713
(727) 327-3400 - Telephone
(727) 323-0886 - Facsimile

**FLORIDA**

PHONE • (727) 541-0700
FAX • (727) 544-7448
SUNCOM • 969-1011

August 22, 2016

Ms. Amanda Conte
Community Development
City of Pinellas Park
P. O. Box 1100
Pinellas Park, Florida 33780-1100



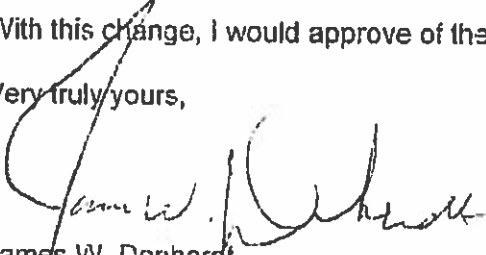
RE: City Documents #16-175
Addendum to Annexation Agreement AX15-14, Des Rochers

Dear Ms. Conte:

I have received and reviewed the above-referenced Addendum to Annexation Agreement. I note that the first Whereas needs to be updated to reflect as follows: "WHEREAS, the CITY and JAMES R. DES ROCHERS entered into an Annexation Agreement."

With this change, I would approve of the Agreement as to form and correctness.

Very truly yours,


James W. Denhardt
City Attorney

cc: Doug Lewis, City Manager
Diane M. Corna, MMC, City Clerk
Patrick Murphy, Assistant City Manager

JWD/dh



PRINTED ON RECYCLED PAPER



City of Pinellas Park

Staff Report

File #: 16-208, **Version:** 1

Agenda Date: 10/13/2016

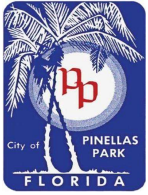
REAPPOINTMENT TO THE PINELLAS PARK POLICE OFFICERS' PENSION BOARD OF TRUSTEES - One Council Appointed Member

NOTE: Mr. Earl Clements was originally appointed in 1999 to serve as a member on the Pinellas Park Police Officers' Pension Board. Mr. Clements' term is due to expire October 2016, and he is interested in continuing this service. Members serve for a four-year term.

ACTION: (Approve - Deny) The reappointment of Earl Clements to serve as a resident member of the Pinellas Park Police Officers' Pension Board of Trustees with the term to expire October 2020.

**Earl Clements Attendance Record
Police Officers' Pension Board
October 2012 – September 2016**

MEETING DATE	PRESENT (P) / ABSENT (A)
November 7, 2012	P
December 5, 2012	P
December 12, 2013	P
January 22, 2013	P
March 13, 2013	P
June 14, 2013	A
June 19, 2013	P
July 16, 2013	P
September 11, 2013	A
November 8, 2013	P
December 11, 2013	P
January 21, 2014	P
March 5, 2014	P
June 20, 2014	A
September 10, 2014	A
October 3, 2014	P
December 3, 2014	P
January 13, 2015	P
March 18, 2015	P
May 22, 2015	P
June 17, 2015	A
August 21, 2015	A
September 16, 2015	P
December 11, 2015	P
March 16, 2016	P
May 27, 2016	P
September 23, 2016	P
27 meetings total	P for 21 meetings / A for 6 meeting



City of Pinellas Park

Staff Report

File #: 16-213, **Version:** 1

Agenda Date: 10/13/2016

APPOINTMENT TO THE LIBRARY BOARD - Ms. Kayla Jacobson

NOTE: A vacancy on the Library Board was created by the resignation of Mr. James Golden. The Library Board interviewed Ms. Joan Howard and Ms. Kayla Jacobson for the position. The Library Board recommends that Council approve the appointment of Ms. Kayla Jacobson to the Library Board with a term to expire June 30, 2017.

ACTION: (Approve - Deny) The appointment of Ms. Kayla Jacobson to the Library Board with a term to expire June 30, 2017.

City of Pinellas Park, Florida
Barbara S. Ponce Public Library
Library Board Meeting
September 8, 2016, 7:00 pm
Unapproved Minutes

Present: Elithia Stanfield, William Holmes, Katherine Egolf, Barbara Ingerson, Pat Bennett, Ryan Kovacsev and Shannon Harner

Absent: Connie Marmaro

City Staff Present: Angela Pietras, Library Director and Dave McMurrin, Assistant Library Director

I. Call to Order

The meeting was called to order by Vice-Chair William Holmes at 7:00 p.m.

II. Monthly Statistics

The Board reviewed the monthly statistics. Ms. Pietras highlighted summer program attendance. Mr. Holmes asked if the Library was able to stay within budget. Ms. Pietras said that the Gift Fund had been used to cover some of the adult programming expenses, explaining that the library had previously not budgeted anything for adult programming and had started with a very conservative earmark. Ms. Pietras gave an explanation of the Gift Fund, adding that conscious efforts are being made to preserve it for projects that hold more long-term or significant value, such as the upcoming renovations. Dave McMurrin detailed the Social Media Statistics.

III. Term Renewals/Taking of Oaths

Library Director Angela Pietras administered the Oath of Offices to Elithia Stanfield, William Holmes, Barbara Ingerson, Pat Bennett and Shannon Harner.

IV. Approval of June 2, 2016 Meeting Minutes

A Motion was made by Ms. Ingerson and seconded by Mr. Holmes to approve the June minutes. The Board voted in favor unanimously.

V. New Business

- A. Interviews of New Board Applicants: The Board reviewed three applications for the Library Board and interviewed the two applicants in attendance, Joan Howard and Kayla Jacobson. Chair Stanfield noted that the third applicant had rated the library board as his fourth choice; Angela Pietras relayed that she had left multiple messages with the candidate advising him of the Board's meeting but that she had not received any communication back from him.
- B. The Board expressed that it was very impressed with the two candidates present and discussed which candidate would best fill the current vacancy. Miss Harner moved to recommend that City Council approve the appointment of Kayla Jacobson to fill the position vacated by James Golden, with a term to expire June 30, 2017. Ms. Bennett seconded the motion. The Board voted unanimously in favor of the motion.

VI. Old Business

- A. Barbara S. Ponce Public Library Long Range Plan: Mr. McMurrin presented the final Long Range Plan, highlighting the goals. Mr. McMurrin also stated that the Long Range Plan will be put into brochure form for public distribution. The Board suggested a few minor edits and corrections. Ms. Bennett moved to approve the Long Range Plan with amendments; Mr. Holmes seconded the motion. The Board voted unanimously in favor of the motion.

- B. Sign-off on Sunshine State Law Training DVD: Pat Bennett and Shannon Harner both have completed viewing the DVD and will submit their affidavits by the October meeting.
- C. Budget Update: Ms. Pietras reported that tonight is City Council's first public hearing on the City's proposed budget for next fiscal year. She reminded the Board of the library's capital improvement project proposal to make some interior renovations and updates.

VII. Director's Report

- A. Friends of Library Update: Ms. Pietras gave an overview of the opportunities that could be available for membership drives and fund raising. The Friends made approximately \$400 through the Barnes and Noble Local Book Fair in August; the Friends will participate in another on October 15. Ms. Bennett stated that the Friends will be having their own book sale at the library on November 19th.
- B. Library Programs and Events: Ms. Pietras stated that the Star Trek Trivia night was attended fully. The next event is a murder mystery in conjunction with the Police Department, on Friday, September 30th. She also reported that the Deaf Literacy Center has canceled the children's sign language class, replacing it with one-on-one tutoring opportunities.
- C. Building & Other Project Updates: Ms. Pietras reported that the concrete bike rack pad is curing and that she is looking at sturdy patio tables and benches to put on the other side of the wall. New blinds for the front meeting rooms have been installed and the room will be repainted and re-carpeted by the end of the month. Mr. Holmes inquired about the placement of the front sculpture. Ms. Pietras stated that the artist's brother was consulted about its placement taking into consideration lighting, protection from the elements, etc.

VIII. Next Meeting

The next meeting will be October 6, 2016 at 7:00 p.m.

IX. Adjournment

There being no further business, Mr. Kovacsev made a motion to adjourn the meeting. Chair Elithia Stanfield adjourned the meeting at 8:05 p.m.

Respectfully Submitted,

Elithia V. Stanfield, Chair

Angela Pietras, Library Director

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City of Pinellas Park

Staff Report

File #: 16-211, **Version:** 1

Agenda Date: 10/13/2016

CHANGE ORDER NO. 1 AND FINAL PAYMENT FOR PROJECT 14/012, PARK BLVD PHASE IV DRAINAGE IMPROVEMENTS - MTM Contractors, Inc.

NOTE: Change Order No. 1 is recommended for approval so that the final payment can be processed and the contract closed out. The amount represents a decrease of the original contract amount by 1.31%. The total amount of the original contract is \$5,999,003.38 and the final payment of \$312,608.21 is to be charged to account numbers 301-382-5-761-08, 301-382-5-756-54 and 301-381-5-776-01. The Engineering Services Division will prepare final funding reimbursement requests for Florida Department of Transportation and Southwest Florida Water Management District participation by agreement.

ACTION: (Approve - Deny) Authorization for approval and acceptance of Change Order No. 1, Project 14/012, Park Blvd Phase IV Drainage Improvements, a decrease in the contract amount of \$78,389.13 and authorization for final payment of \$312,608.21 to MTM Contractors, Inc. to be charged to the appropriate accounts.

CITY OF PINELLAS PARK
P.O. Box 3138
Pinellas Park, FL 33780-3138

C O N T R A C T C H A N G E O R D E R

CONTRACT NO.: 14/012

CHANGE ORDER NO.: 1

CONTRACT TITLE: Park Blvd Phase IV Drainage Improvements

Original Contract Amount\$ 5,999,003.38

Previous Change Orders: Approved No. Amount (+/-)
 Approved No. Amount (+/-)
 Approved No. Amount (+/-)

Total Adjusted Contract Amount Prior to this Action\$ 5,999,003.38

To (Contractor): MTM Contractors, Inc.
6550 53rd Street North
Pinellas Park, FL 33781

You are hereby directed to comply with the following change(s) to the contract documents, plans and/or specifications:

Item No.	Description of Change(s)	Decrease Contract	Increase Contract
1	Reduction in contract for unused drainage and utility funds	\$78,389.13	
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
TOTALS		\$78,389.13	
NET CHANGE: Percent Decrease: 1.31%		Amount:	\$78,389.13

TOTAL ADJUSTED CONTRACT AMOUNT AFTER THIS ACTION..... \$ 5,920,614.25

Recommended by: 
Scott Pinheiro, Director, Engineering Services

Date 9.27.16

Accepted by: 
Contractor

Date 9-27-16

Approved by: _____
Public Works Administrator

Date _____

Approved by City Council at the regular meeting of _____, 2016

APPLICATION AND CERTIFICATE FOR PAYMENT

AIA DOCUMENT G702/Cma

OWNER:

CITY OF PINELLAS PARK
PURCHASING DIVISION
PINELLAS PARK, FL 33780

CONTRACTOR:

MTM CONTRACTORS, INC.
6550 53RD STREET NORTH
PINELLAS PARK, FL 33781

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in accordance with the Contract, Continuation Sheet, AIA Document G703, is attached.

1. ORIGINAL CONTRACT SUM

\$5,999,003.38

2. Net Change By Change Orders.....

(\$78,389.13)

3. CONTRACT SUM TO DATE

(Line 1 + 2)

\$ 5,920,614.25

4. TOTAL COMPLETED & STORED TO DATE.....
(Column G on G703)

\$5,920,614.25

5. RETAINAGE:

a. 0% % of Completed Work
(Columns D & E on G703)

\$0.00

b. 10% % of Stored Material
(Column F on G703)

\$0.00

Total Retainage (Line 5a + 5b or

Total in Column I of G703)

\$0.00

6. TOTAL EARNED LESS RETAINAGE.....
(Line 4 less Line 5 Total)

\$5,920,614.25

7. LESS PREVIOUS CERTIFICATES FOR PAYMENT
(Line 6 from prior Certificate)

\$5,608,006.04

8. CURRENT PAYMENT DUE

\$312,608.21

9. BALANCE TO FINISH, INCLUDING RETAINAGE
(Line 3 less Line 6)

\$ -

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner		
Total Approved this Month		
TOTALS	\$0.00	(\$78,389.13)
NET CHANGES by Change Order		(\$78,389.13)

PROJECT:

PARK BLVD PHASE IV DRAINAGE
IMPROVEMENT PROJECT

APPLICATION NUMBER:

PERIOD TO: BID # 14-012

Final

Final

Final

CONTRACT DATE:

05/14/15

VIA CONSTRUCTION MANAGER

VIA ARCHITECT

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief, the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR:

BY:

ANTHONY LOCCALINO--SECRETARY OF MTM CONTRACTORS, INC

DATE

State of: FLORIDA

County of: PINELLAS

Subscribed and sworn before me this 27th day Of September, 2016

Notary Public:

My Commission Expires:

APR 5, 2019

CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising the above application, the Construction Manager certifies that to the best of his knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED..... \$ 312,608.21

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that changed by the Contractor.)

CONSTRUCTION MGR:

BY:

ARCHITECT:

By:

This certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance of payment is not a warranty under this Contract.

Distribution to:
OWNER ☒
CONSTRUCTION MANAGER ☐
ARCHITECT ☐
CONTRACTOR ☐



CITY OF PINELLAS PARK
PURCHASING DIVISION

Date: 9.27.16

APPROVED

See account numbers on page 4

ITEM	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE	Stored Material	Previous Quantity	Dollars This Period	Period dollars after retain	Quantity To Date	Dollars To Date	Percent Comp	Deciml	retainage
	Fronted Pavement Markings, Standard, White, Solid, 12"	LF	125.00	\$ 1.00	\$125.00		125.00	\$ -	\$ -	125.00	\$ 125.00	100%		5%
	Painted Pavement Markings, Standard, White, Solid, 24"	LF	285.00	\$ 1.25	\$356.25		290.00	\$ -	\$ -	290.00	\$ 362.50	102%		6.25
	Painted Pavement Markings, Standard, Yellow, Solid, 6"	NM	0.70	\$ 1,930.00	\$1,350.00		0.70	\$ -	\$ -	0.70	\$ 1,330.00	100%		18.13
	Thermoplastic, Standard, White, Solid, 12"	LF	125.00	\$ 3.50	\$437.50		124.00	\$ -	\$ -	124.00	\$ 434.00	99%		66.50
	Thermoplastic, Standard, White, Solid, 24"	LF	285.00	\$ 5.50	\$1,567.50		283.00	\$ -	\$ -	283.00	\$ 1,556.50	99%		21.70
	Thermoplastic, Standard-Other Surfaces, Yellow, Solid, 6"	NM	0.70	\$ 7,000.00	\$4,900.00		0.70	\$ -	\$ -	0.70	\$ 4,900.00	100%		77.83
	SUBTOTAL				\$3,042,417.75	\$0.00		\$ -	\$ -		\$ 3,063,825.79	101%		245.00
	SWFMD FUNDED PAY ITEMS													
	Boat Box (5' x 10')	EA	1.00	\$ 47,421.00	\$47,421.00		1.00	\$ -	\$ -	1.00	\$ 47,421.00	100%		2,371.05
	Boat Box (8' x 14')	EA	1.00	\$ 76,878.00	\$76,878.00		1.00	\$ -	\$ -	1.00	\$ 76,878.00	100%		3,843.90
	Boat Box (12' x 20')	EA	1.00	\$ 167,771.00	\$167,771.00		1.00	\$ -	\$ -	1.00	\$ 167,771.00	100%		8,388.55
	Hydrodynamic Separator (4' Dia.)	EA	1.00	\$ 13,250.00	\$13,250.00		1.00	\$ -	\$ -	1.00	\$ 13,250.00	100%		662.50
	7' x 4' Box Culvert	LF	550.00	\$ 490.00	\$269,500.00		531.00	\$ -	\$ -	531.00	\$ 260,190.00	97%		13,009.50
	Ditch Bottom Plantings	SF	1800.00	\$ 3.90	\$7,020.00		1800.00	\$ -	\$ -	1800.00	\$ 7,020.00	100%		351.00
	Ditch Blocks	EA	4.00	\$ 1,500.00	\$6,000.00		4.00	\$ -	\$ -	4.00	\$ 6,000.00	100%		300.00
	Culvert Improvements (Headwall, Sediment Sump, Channel Grading, Etc.)	LS	1.00	\$ 50,000.00	\$50,000.00		1.00	\$ -	\$ -	1.00	\$ 50,000.00	100%		2,500.00
	Inlets, Curb, Type P-3, < 10'	EA	19.00	\$ 3,806.00	\$72,314.00		19.00	\$ -	\$ -	19.00	\$ 72,314.00	100%		3,615.70
	Inlets, Curb, Type P-5, < 10'	EA	2.00	\$ 3,958.00	\$7,916.00		2.00	\$ -	\$ -	2.00	\$ 7,916.00	100%		395.80
	Inlets, Ditch Bottom, Type C, < 10'	EA	8.00	\$ 2,700.00	\$21,600.00		8.00	\$ -	\$ -	8.00	\$ 21,600.00	100%		1,080.00
	Inlets, Gutter, Type V, < 10'	EA	2.00	\$ 8,800.00	\$19,600.00		3.00	\$ -	\$ -	3.00	\$ 29,400.00	150%		1,470.00
	Manholes, P-8, < 10'	EA	1.00	\$ 3,892.00	\$3,892.00		1.00	\$ -	\$ -	1.00	\$ 3,892.00	100%		199.60
	Manholes, J-7, < 10'	EA	1.00	\$ 2,815.00	\$2,815.00		1.00	\$ -	\$ -	1.00	\$ 2,815.00	100%		140.75
	Manholes, J-8, < 10'	EA	8.00	\$ 4,696.00	\$37,568.00		8.00	\$ -	\$ -	8.00	\$ 37,568.00	100%		1,878.40
	Manholes, J-8, < 10'	EA	12.00	\$ 5,224.00	\$62,688.00		12.00	\$ -	\$ -	12.00	\$ 62,688.00	100%		3,134.40
	Pipe Culvert, Optional Material, Round, 15" S/CD	LF	181.00	\$ 58.00	\$10,498.00		181.00	\$ -	\$ -	181.00	\$ 10,498.00	100%		524.90
	Pipe Culvert, Optional Material, Round, 36" S/CD	LF	25.00	\$ 156.00	\$3,900.00		25.00	\$ -	\$ -	25.00	\$ 3,900.00	100%		195.00
	Pipe Culvert, Optional Material, Round, 42" S/CD	LF	40.00	\$ 198.00	\$7,920.00		32.00	\$ -	\$ -	32.00	\$ 6,336.00	80%		316.80
	Pipe Culvert, Optional Material, Other-Elp/Arch, 15" S/CD	LF	410.00	\$ 59.93	\$24,571.30		414.00	\$ -	\$ -	414.00	\$ 24,811.02	101%		1,240.55
	Pipe Culvert, Optional Material, Other-Elp/Arch, 36" S/CD	LF	573.00	\$ 138.00	\$79,074.00		580.00	\$ -	\$ -	580.00	\$ 80,040.00	101%		4,002.00
	Pipe Culvert, Optional Material, Other-Elp/Arch, 42" S/CD	LF	930.00	\$ 162.00	\$150,660.00		930.00	\$ -	\$ -	930.00	\$ 150,660.00	100%		7,533.00
	Pipe Culvert, Optional Material, Other-Elp/Arch, 48" S/CD	LF	145.00	\$ 174.00	\$25,230.00		143.00	\$ -	\$ -	143.00	\$ 24,882.00	99%		1,244.10
	Pipe Culvert, Optional Material, Other-Elp/Arch, 60" S/CD	LF	150.00	\$ 227.00	\$34,050.00		149.00	\$ -	\$ -	149.00	\$ 33,823.00	99%		1,691.15
	SUBTOTAL				\$1,202,238.30	\$0.00		\$ -	\$ -		\$ 1,201,773.02	100%		60,098.65
	CITY FUNDED PAY ITEMS (ROADWAY & STORMWATER IMPROVEMENTS) (A)													
	Maintenance of Traffic	LS	1.00	\$ 25,000.00	\$25,000.00		1.00	\$ -	\$ -	1.00	\$ 25,000.00	100%		1,250.00
	Erosion & Sediment Control	LS	1.00	\$ 5,000.00	\$5,000.00		1.00	\$ -	\$ -	1.00	\$ 5,000.00	100%		250.00
	Portway Grading	SY	28950.00	\$ 2.75	\$74,112.50		27165.00	\$ -	\$ -	27165.00	\$ 74,703.75	101%		3,735.18
	Remove, Protect & Reel Existing Portway Features	LS	1.00	\$ 15,000.00	\$15,000.00		1.00	\$ -	\$ -	1.00	\$ 15,000.00	100%		750.00
	Speed Table Construction	EA	3.00	\$ 2,600.00	\$7,800.00		4.00	\$ -	\$ -	4.00	\$ 10,400.00	133%		520.00
	Tree Protection	LS	1.00	\$ 5,000.00	\$5,000.00		1.00	\$ -	\$ -	1.00	\$ 5,000.00	100%		250.00
	Replace Canopy Tree	EA	15.00	\$ 620.00	\$9,300.00		19.00	\$ -	\$ -	19.00	\$ 11,790.00	127%		589.00
	Replace Intermediate Tree	EA	15.00	\$ 500.00	\$7,500.00		23.00	\$ -	\$ -	23.00	\$ 11,500.00	153%		575.00
	Replace Understory Tree	EA	10.00	\$ 520.00	\$5,200.00		17.00	\$ -	\$ -	17.00	\$ 8,840.00	170%		442.00
	Reset Section Corner (86 th Avenue)	EA	1.00	\$ 936.00	\$936.00		1.00	\$ -	\$ -	1.00	\$ 936.00	100%		46.80
	Unusable Material Removal and Replacement	CY	5000.00	\$ 15.00	\$75,000.00		4959.00	\$ -	\$ -	4959.00	\$ 74,535.00	99%		3,726.75

ITEM	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE	Stored Material	Previous Quantity	Dollars This Period	Period dollars after retain	Quantity To Date	Dollars To Date	Decimal Perc Comp	retainage
	Asphalt Roadway/Parking Restoration (excluding Asphalt)	SY	1000.00	\$ 12.00	\$12,000.00		300.00	\$ -	\$ -	300.00	\$ 3,600.00	30%	\$ 180.00
	Curb Restoration (McMn)	LF	100.00	\$ 15.00	\$1,500.00		0.00	\$ -	\$ -	0.00	\$ -	0%	\$ -
	Curb Restoration (6" Ribbon)	LF	150.00	\$ 15.00	\$2,250.00		150.00	\$ -	\$ -	150.00	\$ 2,250.00	100%	\$ 112.50
	Curb Restoration (FDOT type "F")	LF	200.00	\$ 25.00	\$5,000.00		150.00	\$ -	\$ -	150.00	\$ 3,750.00	75%	\$ 187.50
	Concrete Driveway Restoration (City Directed Only)	SY	50.00	\$ 47.25	\$2,362.50		30.00	\$ -	\$ -	30.00	\$ 1,417.50	60%	\$ 70.88
	Sod Restoration (City Directed Only)	SY	100.00	\$ 4.00	\$400.00		75.00	\$ -	\$ -	75.00	\$ 300.00	75%	\$ 15.00
	Decorative Driveway Restoration	SY	90.00	\$ 65.00	\$5,850.00		45.00	\$ -	\$ -	45.00	\$ 2,925.00	50%	\$ 146.25
	Cover, Landscape Beds, Etc.)	LS	1.00	\$ 13,000.00	\$13,000.00		1.00	\$ -	\$ -	1.00	\$ 13,000.00	100%	\$ 650.00
	Concrete Spillway Construction	EA	8.00	\$ 650.00	\$5,200.00		8.00	\$ -	\$ -	8.00	\$ 5,200.00	100%	\$ 260.00
	Connect to Existing Stormwater Structure	EA	6.00	\$ 1,800.00	\$10,800.00		6.00	\$ -	\$ -	6.00	\$ 10,800.00	100%	\$ 540.00
	Contingency	LS	1.00	\$ 25,000.00	\$25,000.00		0.50	\$ -	\$ -	0.50	\$ 12,500.00	50%	\$ 625.00
	SUBTOTAL				\$313,211.00	\$0.00		\$ -	\$ -		\$ 288,437.25	95%	\$ 14,871.86
	CITY FUNDED PAY ITEMS (PORTABLE WATER ADJUSTMENTS & IMPROVEMENTS) (B)												
	Portable Water Main Removal (2")	LF	1775.00	\$ 3.00	\$5,325.00		2084.00	\$ -	\$ -	2084.00	\$ 6,252.00	117%	\$ 312.60
	Portable Water Main Removal (6")	LF	20.00	\$ 10.00	\$200.00		608.00	\$ -	\$ -	608.00	\$ 6,080.00	3040%	\$ 304.00
	Portable Water Main Removal (8")	LF	150.00	\$ 12.00	\$1,800.00		125.00	\$ -	\$ -	125.00	\$ 1,500.00	83%	\$ 75.00
	Portable Water Main Removal (12")	LF	225.00	\$ 20.00	\$4,500.00		220.00	\$ -	\$ -	220.00	\$ 4,400.00	98%	\$ 220.00
	Portable Water Disconnect & Plug (2")	EA	3.00	\$ 275.00	\$825.00		3.00	\$ -	\$ -	3.00	\$ 825.00	100%	\$ 41.25
	Portable Water Disconnect & Plug (6")	EA	3.00	\$ 492.00	\$1,476.00		2.00	\$ -	\$ -	2.00	\$ 984.00	67%	\$ 49.20
	Portable Water Disconnect & Plug (8")	EA	4.00	\$ 636.00	\$2,544.00		3.00	\$ -	\$ -	3.00	\$ 1,908.00	75%	\$ 95.40
	Portable Water Disconnect & Plug (12")	EA	6.00	\$ 2,300.00	\$13,800.00		6.00	\$ -	\$ -	6.00	\$ 13,800.00	100%	\$ 690.00
	Adjust Portable Water Main (2")	EA	6.00	\$ 475.00	\$2,850.00		3.00	\$ -	\$ -	3.00	\$ 1,425.00	50%	\$ 71.25
	Adjust Portable Water Main (8")	EA	4.00	\$ 2,250.00	\$9,000.00		4.00	\$ -	\$ -	4.00	\$ 9,000.00	100%	\$ 450.00
	2" PVC Portable Water Main	LF	1350.00	\$ 18.00	\$24,300.00		1218.00	\$ -	\$ -	1218.00	\$ 21,924.00	90%	\$ 1,086.00
	6" PVC Portable Water Main	LF	1800.00	\$ 24.00	\$43,200.00		1475.00	\$ -	\$ -	1475.00	\$ 35,400.00	82%	\$ 1,770.00
	8" PVC Portable Water Main	LF	1700.00	\$ 42.00	\$71,400.00		1550.00	\$ -	\$ -	1550.00	\$ 65,100.00	91%	\$ 3,255.00
	12" PVC Portable Water Main	LF	950.00	\$ 65.00	\$61,750.00		950.00	\$ -	\$ -	950.00	\$ 62,355.00	101%	\$ 3,116.75
	Single Portable Service Connection	EA	40.00	\$ 575.00	\$23,000.00		41.00	\$ -	\$ -	41.00	\$ 23,575.00	103%	\$ 1,178.75
	Double Portable Service Connection	EA	1375.00	\$ 3.00	\$4,125.00		655.00	\$ -	\$ -	655.00	\$ 1,965.00	48%	\$ 98.25
	Double Portable Service Tubing (1")	LF	10.00	\$ 635.00	\$6,350.00		0.00	\$ -	\$ -	0.00	\$ -	0%	\$ -
	Double Portable Service Tubing (1 1/2")	LF	375.00	\$ 1.47	\$551.25		3.57	\$ -	\$ -	3.57	\$ 77,469.00	103%	\$ 3,873.45
	Portable Water Ductile Iron Fittings	TN	3.45	\$ 21,700.00	\$74,965.00		128.00	\$ -	\$ -	128.00	\$ 32,000.00	102%	\$ 1,600.00
	Portable Water Restrained Joints (6")	EA	125.00	\$ 250.00	\$31,250.00		111.00	\$ -	\$ -	111.00	\$ 30,303.00	101%	\$ 1,515.15
	Portable Water Restrained Joints (8")	EA	110.00	\$ 273.00	\$30,030.00		75.00	\$ -	\$ -	75.00	\$ 32,325.00	100%	\$ 1,616.25
	Portable Water Restrained Joints (12")	EA	75.00	\$ 431.00	\$32,325.00		3.00	\$ -	\$ -	3.00	\$ 1,056.00	100%	\$ 52.80
	Restrained Existing Portable Water Main Joint (6")	EA	3.00	\$ 352.00	\$1,056.00		2.00	\$ -	\$ -	2.00	\$ 768.00	100%	\$ 38.40
	Restrained Existing Portable Water Main Joint (8")	EA	2.00	\$ 384.00	\$768.00		4.00	\$ -	\$ -	4.00	\$ 1,828.00	100%	\$ 91.40
	Restrained Existing Portable Water Main Joint (12")	EA	4.00	\$ 457.00	\$1,828.00		0.00	\$ -	\$ -	0.00	\$ -	0%	\$ -
	Connect to Existing Portable Water Main Joint (2")	EA	17.00	\$ 189.00	\$3,213.00		2.00	\$ -	\$ -	2.00	\$ 2,400.00	100%	\$ 120.00
	Connect to Existing Portable Water Main Joint (6")	EA	2.00	\$ 2,000.00	\$2,800.00		1.00	\$ -	\$ -	1.00	\$ 2,836.00	100%	\$ 141.80
	8" x 8" Topping Valve & Sleeve (Portable Water)	EA	1.00	\$ 2,836.00	\$2,836.00		2.00	\$ -	\$ -	2.00	\$ 7,138.00	67%	\$ 356.90
	8" x 8" Topping Valve & Sleeve (Portable Water)	EA	3.00	\$ 3,569.00	\$10,707.00		2.00	\$ -	\$ -	2.00	\$ 11,640.00	100%	\$ 582.00
	12" x 12" Topping Valve & Sleeve (Portable Water)	EA	2.00	\$ 5,820.00	\$11,640.00		15.00	\$ -	\$ -	15.00	\$ 13,065.00	100%	\$ 653.25
	Portable Water Valve (2")	EA	15.00	\$ 871.00	\$13,065.00		8.00	\$ -	\$ -	8.00	\$ 8,800.00	67%	\$ 440.00
	Portable Water Gate Valve (6")	EA	12.00	\$ 1,100.00	\$13,200.00		1.00	\$ -	\$ -	1.00	\$ 1,500.00	50%	\$ 75.00
	Portable Water Gate Valve (8")	EA	2.00	\$ 1,500.00	\$3,000.00		3.00	\$ -	\$ -	3.00	\$ 8,307.00	150%	\$ 415.35
	Portable Water Gate Valve (12")	EA	2.00	\$ 2,769.00	\$5,538.00		7.00	\$ -	\$ -	7.00	\$ 28,600.00	117%	\$ 1,330.00
	Fire Hydrant	EA	8.00	\$ 3,800.00	\$30,400.00		6.00	\$ -	\$ -	6.00	\$ 3,000.00	150%	\$ 150.00
	2" temporary blowoff Assembly (Portable Water)	EA	4.00	\$ 500.00	\$2,000.00			\$ -	\$ -				

ITEM	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE	Stored Material	Previous Quantity	Dollars This Period	Period dollars after retain	Quantity To Date	Dollars To Date	Percent Comp	retainage
6" Temporary Blowoff Assembly (Portable Water)		EA	10.00	\$ 1,500.00	\$15,000.00		4.00	-	-	4.00	\$ 6,000.00	40%	\$ 300.00
Sample Tap		EA	30.00	\$ 275.00	\$8,250.00		22.00	-	-	22.00	\$ 6,050.00	73%	\$ 302.50
Chlorine Injection Port		EA	13.00	\$ 275.00	\$3,575.00		10.00	-	-	10.00	\$ 2,750.00	77%	\$ 137.50
SUBTOTAL					\$56,154.25	\$0.00					\$32,308.00	95%	\$ 26,815.40
CITY FUNDED PAY ITEMS (RECLAIMED WATER ADJUSTMENTS) (5)													
Reclaimed Water Main Removal (6")		LF	1450.00	\$ 10.00	\$14,500.00		1435.00	-	-	1435.00	\$ 14,350.00	99%	\$ 717.50
Reclaimed Water Main Removal (8")		LF	395.00	\$ 10.00	\$3,950.00		280.00	-	-	280.00	\$ 2,800.00	71%	\$ 140.90
Reclaimed Water Disconnect & Plug (6")		EA	5.00	\$ 492.00	\$2,460.00		6.00	-	-	6.00	\$ 2,952.00	120%	\$ 147.60
Reclaimed Water Disconnect & Plug (8")		EA	1.00	\$ 636.00	\$636.00		1.00	-	-	1.00	\$ 636.00	100%	\$ 31.80
Adjust Reclaimed Water Main (6")		EA	28.00	\$ 1,950.00	\$56,550.00		30.00	-	-	30.00	\$ 58,500.00	103%	\$ 2,925.00
Adjust Reclaimed Water Main (8")		EA	9.00	\$ 2,230.00	\$20,070.00		8.00	-	-	8.00	\$ 17,840.00	89%	\$ 892.00
6" PVC Reclaimed Water Main		LF	1900.00	\$ 24.00	\$45,600.00		1952.00	-	-	1952.00	\$ 46,848.00	103%	\$ 2,342.40
8" PVC Reclaimed Water Main		LF	550.00	\$ 42.00	\$23,100.00		550.00	-	-	550.00	\$ 23,100.00	100%	\$ 1,155.00
Reclaimed Water Service Connection		EA	145.00	\$ 464.00	\$70,180.00		130.00	-	-	130.00	\$ 62,920.00	90%	\$ 3,146.00
Reclaimed Water Service Tubing (1")		LF	1700.00	\$ 1.47	\$2,499.00		1575.00	-	-	1575.00	\$ 2,315.25	93%	\$ 115.76
Reclaimed Water Ductile Iron Fittings		TN	3.67	\$ 22,894.00	\$84,020.98		3.65	-	-	3.65	\$ 83,563.10	99%	\$ 4,178.16
Reclaimed Water Restained Joints (6")		EA	320.00	\$ 149.00	\$47,680.00		308.00	-	-	308.00	\$ 45,692.00	96%	\$ 2,294.60
Reclaimed Water Restained Joints (8")		EA	80.00	\$ 166.00	\$13,280.00		77.00	-	-	77.00	\$ 12,782.00	96%	\$ 639.10
Connect to Existing Reclaimed Water Main (6")		EA	4.00	\$ 352.00	\$1,408.00		4.00	-	-	4.00	\$ 1,408.00	100%	\$ 70.40
6" x 6" Topping Valve & Sleeve (Reclaimed Water)		EA	2.00	\$ 1,200.00	\$2,400.00		2.00	-	-	2.00	\$ 2,400.00	100%	\$ 120.00
Reclaimed Water Gate Valve (6")		EA	4.00	\$ 2,800.00	\$11,200.00		3.00	-	-	3.00	\$ 8,400.00	75%	\$ 420.00
Reclaimed Water Gate Valve (8")		EA	2.00	\$ 1,100.00	\$2,200.00		5.00	-	-	5.00	\$ 5,500.00	250%	\$ 275.00
2" Temporary Blowoff Assembly (Reclaimed Water)		EA	3.00	\$ 4,500.00	\$13,500.00		2.00	-	-	2.00	\$ 3,000.00	67%	\$ 150.00
SUBTOTAL			6.00	\$ 1,500.00	\$9,000.00	\$0.00	4.00	-	-	4.00	\$ 6,000.00	67%	\$ 300.00
CITY FUNDED PAY ITEMS (SANITARY SEWER ADJUSTMENTS & IMPROVEMENTS) (D)													
Sanitary Sewer Main Removal & Replacement (DI) (8")		LF	580.00	\$ 97.00	\$56,260.00		667.00	-	-	667.00	\$ 64,699.00	115%	\$ 3,234.95
Sanitary Sewer Lateral Removal & Adjustment (PVC) (4"/6")		LF	1500.00	\$ 18.00	\$27,000.00		2261.00	-	-	2261.00	\$ 40,698.00	151%	\$ 2,034.90
DIP		EA	23.00	\$ 4,500.00	\$103,500.00		4.00	3.00	\$ 12,825.00	7.00	\$ 31,500.00	30%	\$ 1,575.00
Sanitary Sewer Lot Corl Structure (7" Dia.) (w/ 10 LF of DIP)		EA	6.00	\$ 7,844.00	\$47,064.00		6.00	-	-	6.00	\$ 47,064.00	100%	\$ 2,353.20
Force Main Removal (10")		LF	375.00	\$ 10.00	\$3,750.00		380.00	-	-	380.00	\$ 3,800.00	101%	\$ 190.00
Force Main Disconnect & Plug (10")		EA	14.00	\$ 1,800.00	\$25,200.00		14.00	-	-	14.00	\$ 25,200.00	100%	\$ 1,260.00
Force Main Ductile Iron Fittings		TN	0.95	\$ 28,878.00	\$27,434.10		1.28	-	-	1.28	\$ 36,963.84	135%	\$ 1,848.19
10" PVC Force Main		LF	2450.00	\$ 41.00	\$100,450.00		2450.00	-	-	2450.00	\$ 100,450.00	100%	\$ 5,022.50
Force Main Restained Joints (10")		EA	85.00	\$ 395.00	\$33,575.00		85.00	-	-	85.00	\$ 33,575.00	100%	\$ 1,678.75
Restrain Existing Force Main Joint (10")		EA	2.00	\$ 485.00	\$980.00		0.00	-	-	0.00	\$ -	0%	\$ -
Connect to Existing Force Main (10")		EA	2.00	\$ 2,607.00	\$5,214.00		2.00	-	-	2.00	\$ 5,214.00	100%	\$ 260.70
10" Force Main Gate Valve		EA	1.00	\$ 3,400.00	\$3,400.00		1.00	-	-	1.00	\$ 3,400.00	100%	\$ 170.00
4" Release Valve & Vault		EA	3.00	\$ 6,175.00	\$18,525.00		0.00	-	-	0.00	\$ -	0%	\$ -
6" Temporary Blowoff Assembly (Force Main)		EA	3.00	\$ 1,500.00	\$4,500.00		2.00	-	-	2.00	\$ 3,000.00	67%	\$ 150.00
Lot Station Bypass		LS	1.00	\$ 7,500.00	\$7,500.00		1.00	-	-	1.00	\$ 7,500.00	100%	\$ 375.00
SUBTOTAL					\$464,362.10	\$0.00		17,450.00	\$ 16,577.50		\$ 403,063.64	87%	\$ 20,153.19
SUBTOTAL PDOT ITEMS													
SUBTOTAL SWFWD ITEMS	301 382 5741 06	FDOT			\$3,042,417.75	\$0.00	0.00	-	-		\$ 3,063,825.79	101%	\$ 154,191.29
SUBTOTAL CITY FUNDED ITEMS A	301 382 5741 06	SWFWD			\$1,202,226.30	\$0.00	0.00	-	-		\$ 1,201,773.02	100%	\$ 60,088.65
SUBTOTAL CITY FUNDED ITEMS B	301 382 5741 06	CITY			\$313,211.00	\$0.00	0.00	-	-		\$ 298,437.25	95%	\$ 14,821.86
SUBTOTAL CITY FUNDED ITEMS C	301 381 5754 54	WATER			\$561,342.25	\$0.00	0.00	-	-		\$ 532,308.00	95%	\$ 26,815.40
SUBTOTAL CITY FUNDED ITEMS D	301 381 5754 54	RECL			\$415,233.98	\$0.00	0.00	-	-		\$ 401,306.35	87%	\$ 20,050.32
SUBTOTAL CITY FUNDED ITEMS E	301 381 5776 01	SEWER			\$464,362.10	\$0.00	0.00	17,450.00	\$ 16,577.50		\$ 403,063.64	87%	\$ 20,153.19
TOTAL					\$5,998,003.38	\$0.00	0.00	17,450.00	\$ 16,577.50		\$ 5,820,614.25	89%	\$ 298,030.71

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City of Pinellas Park

Staff Report

File #: 16-209, **Version:** 1

Agenda Date: 10/13/2016

CHANGE ORDER NO. 1 AND FINAL PAYMENT FOR PROJECT 16/015, PIPE REPLACEMENT - Keystone Excavators, Inc.

NOTE: Change Order No. 1 is recommended for approval so that the final payment can be processed and the contract closed out. The amount represents a decrease of the original contract amount by 11.68%. The total amount of the contract is \$80,371.20 and the final payment of \$4,018.56 is to be charged to account 301-382-5717-03.

ACTION: (Approve - Deny) Authorization for approval and acceptance of Change Order No.1, Project 16/015, Pipe Replacement, a decrease in the contract amount of \$10,621.90, for a total adjusted contract amount \$90,993.10 and authorization for final payment of \$4,018.56 to Keystone Excavators, Inc. to be charged to the appropriate account.

APPLICATION AND CERTIFICATE FOR PAYMENT

Final

To: City of Pinellas Park Project: City of Pinellas Park Storm Water Improvements - Storm Drainage Repair
P.O. Box 1100
Pinellas Park FL 33780-1100 Contract No.:
Contract Date: 3/14/2016

Application: 2
Period to: 9/7/2016
PO Reference:

Distribution to:
OWNER
ARCHITECT
CONTRACTOR
ENGINEER

From: Keystone Excavators, Inc.
371 Scarlet Blvd
Oldsmar, FL 34677

Retainage Billing

Application is made for payment, as shown below, in connection with the Contract.
Continuation Sheet is attached.

CHANGE ORDER SUMMARY		
Change Orders approved in previous months by Owner	ADDITIONS	DELETIONS
TOTAL \$	-	\$
Approved this month Number Date Approved 1 9/7/2016		-10621.9
TOTALS \$	-	\$ (10,621.90)
Net Change by Change Orders	\$ (10,621.90)	

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief, the work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR:

By: Robert Forman, President

OWNERS CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising the above application, the Architect/Engineer certifies to the Owner that to the best of his/her knowledge, information and belief, the Work has progressed as indicated, that the quality of work is in accordance with said Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

1 Original Contract Sum	\$ 90,993.10
2 Net Change by Change Orders	\$ (10,621.90)
3 Contract Sum to Date (Line 1 + 2)	\$ 80,371.20
4 Total Completed	\$ 80,371.20
5 Retainage	\$
(5% of completed work)	\$
6 Total Earned Less Retainage	\$ 80,371.20
(Line 4 less Line 5 Total)	
7 Less Previous Certificates for Payment	\$ 76,352.64
(Line 6 from prior certificate)	
8 Current Payment Due (Line 6 less line 7)	\$ 4,018.56
9 Balance to Finish, Plus Retainage	\$
(Line 3 less line 6)	

Date: 9/11/2016
AMOUNT CERTIFIED: \$ 4,018.56
(Attach explanation if amount certified differs from that applied for)

By: _____ Date: _____

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

David Hubbard 9/29/16

City of Pinellas Park Storm water Improvements - Storm Drainage Repairs							Retainage Billing				
Item No.	Description	Units	Qty.	Unit Price	Contract Price	Previous Amount Earned	Qty this Draw	Amount this Draw	Qty to Date	Amount Earned to Date	Per Cent Comp
68th Street and 88th Avenue											
1.1	Mobilization	EA	1	\$ 11,250.00	\$ 11,250.00	\$ 11,250.00			1	\$ 11,250.00	100 %
1.2	Maintenance of Traffic	LS	1	\$ 1,824.00	\$ 1,824.00	\$ 1,824.00			1	\$ 1,824.00	100 %
1.3	18" PVC < 6 ft deep	LF	90	\$ 48.00	\$ 4,320.00	\$ 4,320.00			90	\$ 4,320.00	100 %
1.4	Underdrain, 6" PVC	LF	90	\$ 30.00	\$ 2,700.00	\$ 1,200.00			40	\$ 1,200.00	44 %
1.5	18" Millered End Section, with Concrete F.	EA	1	\$ 961.00	\$ 961.00	\$ 961.00			1	\$ 961.00	100 %
1.6	Raised Concrete Structure	EA	1	\$ 2,405.00	\$ 2,405.00	\$ 2,405.00			1	\$ 2,405.00	100 %
1.7	Unsuitable Fill Remove / Replace	CY	20	\$ 22.00	\$ 440.00						
1.8	Sodding, In-Kind	SF	900	\$ 0.70	\$ 630.00	\$ 630.00			900	\$ 630.00	100 %
1.9	6" Concrete Driveways	SF	300	\$ 7.00	\$ 2,100.00	\$ 2,100.00			300	\$ 2,100.00	100 %
1.10	10% Contingency, for Unknowns	LS	1	\$ 2,663.00	\$ 2,663.00	\$ 700.00				\$ 700.00	26 %
Total for 68th Street and 88th Avenue					\$ 29,293.00	\$ 25,390.00	\$ -	\$ -		\$ 25,390.00	
89th Avenue and 60th Street											
3.1	Mobilization	EA	1	\$ 11,250.00	\$ 11,250.00	\$ 11,250.00			1	\$ 11,250.00	100 %
3.2	Maintenance of Traffic	LS	1	\$ 4,127.00	\$ 4,127.00	\$ 4,127.00			1	\$ 4,127.00	100 %
3.3	24" RCP < 6 ft deep	LF	40	\$ 62.00	\$ 2,480.00	\$ 2,480.00			40	\$ 2,480.00	100 %
3.4	19" x 30" ERCP < 6ft deep	LF	305	\$ 74.00	\$ 22,570.00	\$ 8,880.00			120	\$ 8,880.00	39 %
3.5	Curb Inlet, Type A-9	EA	1	\$ 4,104.00	\$ 4,104.00	\$ 4,104.00			1	\$ 4,104.00	100 %
3.6	Unsuitable Fill Remove/Replace	CY	20	\$ 22.00	\$ 440.00						
3.7	Sodding, In-Kind	SF	1700	\$ 0.70	\$ 1,190.00	\$ 1,190.00			1700	\$ 1,190.00	100 %
3.8	Valley Gutter	LF	40	\$ 31.00	\$ 1,240.00						
3.9	12" Stabilized (LBR 40)	SY	90	\$ 10.00	\$ 900.00						
3.10	8" Road Base (LBR 100)	SY	90	\$ 21.00	\$ 1,890.00						
3.11	Valley Gutter	LF	100	\$ 31.00	\$ 3,100.00	\$ 3,100.00			100	\$ 3,100.00	100 %
3.12	6" Concrete Driveways	SF	400	\$ 7.00	\$ 2,800.00	\$ 2,170.00			310	\$ 2,170.00	78 %
3.13	Miscellaneous Allowance (Contingency)	LS	1	\$ 5,609.10	\$ 5,609.10	\$ 17,680.20				\$ 17,680.20	315 %
Total for 89th Avenue and 60th Street					\$ 61,700.10	\$ 54,981.20	\$ -	\$ -		\$ 54,981.20	89 %
Totals ORIGINAL CONTRACT INCLUDING ADD'L WORK (Contingency)					\$ 90,993.10					\$ 80,371.20	

City of Pinellas Park Storm water Improvements - Storm Drainage Repairs							Retainage Billing				
Item No.	Description	Units	Qty	Unit Price	Contract Price	Previous Amount Earned	Qty this Draw	Amount this Draw	Qty to Date	Amount Earned to Date	Per Cent Comp
Contingency Items for 68th Street and 88th Avenue											
1.8	Sodding, In-Kind - Overrun	SF	700	\$ 0.70	\$ 490.00	\$ 490.00	700			\$ 490.00	100 %
1.9	6" Concrete Driveways - Overrun	SF	30	\$ 7.00	\$ 210.00	\$ 210.00	30			\$ 210.00	100 %
					\$ -						#DIV/0!
TOTAL of Items CHARGED to 68TH Street / 88th Ave					CONTINGENCY PAY ITEM	\$ 700.00	\$ -	\$ -	\$ 730.00	\$ 700.00	
Contingency Items for 89th Avenue abd 60th Street											
3.3	24" RCP < 6 ft deep - Overrun	LF	42	\$ 62.00	\$ 2,573.00	\$ 2,573.00	41.5			\$ 2,573.00	100 %
3.7	Sodding, In-Kind - Overrun	SF	2700	\$ 0.70	\$ 1,890.00	\$ 1,890.00	2700			\$ 1,890.00	100 %
3.11	Valley Gutter - Overrun	LF	80	\$ 31.00	\$ 2,480.00	\$ 2,480.00	80			\$ 2,480.00	100 %
ADD'L WORK :											
89th Avenue and 60th Street - 20" Reclaim Conflict											
24.01	Type C Storm Structures	EA	2	\$ 2,405.00	\$ 4,810.00	\$ 4,810.00	2			\$ 4,810.00	100 %
24.02	Remove 19" x 30" RCP Storm Pipe	LF	16	\$ 37.00	\$ 592.00	\$ 592.00	16			\$ 592.00	100 %
24.02B	Re-Stocking/-reignl Charge to return 19"x30" RCP Pipe	LF	192	\$ 15.60	\$ 2,995.20	\$ 2,995.20	192			\$ 2,995.20	100 %
24.03	Install 15" Contech A-2000 Storm Pipe	LF	26	\$ 37.00	\$ 962.00	\$ 740.00	20			\$ 740.00	77 %
24.04	Construct Concrete Collar (Connect Concrete Pipe to Contech Pipe)	EA	2	\$ 800.00	\$ 1,600.00	\$ 1,600.00	2			\$ 1,600.00	100 %
24.05	Remove & Replace Valley Gutter	LF	140	\$ 31.00	\$ 4,340.00						
24.06	Remove & Replace Concrete Driveways	SF	130	\$ 7.00	\$ 910.00						
24.07	Sod	SF	1800	\$ 0.70	\$ 1,260.00						
					\$ -						
					\$ -						
					\$ -						
TOTAL of Items CHARGED to 60TH Street / 89th Ave					CONTINGENCY PAY ITEM	\$ 17,469.20	\$ 17,680.20			\$ 17,680.20	

Totals ORIGINAL CONTRACT & ADD'L WORK (Contingency) \$ 90,993.10

\$ 80,371.20

Earned

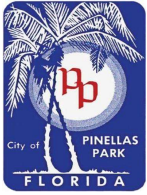
\$ 80,371.20

88 %

Retainage

Invoice Amount

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City of Pinellas Park

Staff Report

File #: 16-215, **Version:** 1

Agenda Date: 10/13/2016

AWARD OF BID 16/002 - DESIGN / BUILD PUBLIC WORKS OPERATION CENTER - Bandes Construction Company, Inc.

NOTE: Two (2) bids were received with Bandes Construction Company, Inc. (1368 Spalding Road, Suite C, Dunedin, FL 34698) being the low bidder with a bid submittal of \$4,957,644.00. The amount budgeted for this project is \$4,957,644.00. This project will be charged to account 301175-575902.

ACTION: (Approve - Deny) Authorization to award Bid 16/002 for Design / Build Services for Public Works Operation Center to Bandes Construction Company, Inc., Dunedin, FL, in the amount of \$4,957,644.00 to be charged to the appropriate account.

BID NUMBER.....: 16/002
BID DESCRIPTION..: DESIGN/BUILD PWOC
BID DATE (MMDDYY): 08/17/2016
BID TIME.....: 10:00 AM

BIDDERS NAME -----	BID ITEM -----	BID AMOUNT -----
BANDES CONSTRUCTION COMPANY	001	4,957,644.00
HENNESSY CONSTRUCTION SERVICES	001	5,055,454.00

TOTAL BIDS --> 2



1368 SPAULDING RD., STE. C, DUNEDIN, FL 34698-5039 | P: (727) 733-5558 | F: (727) 738-8225 | LICENSE: #CG-0018550

City of Pinellas Park
Purchasing Division
P.O. Box 3138
Pinellas Park, FL 33780
P: (727)369-5712
Email: purchasing@pinellas-park.com

Re: Bid 16/002, Design-Build Services, Public Works Operation Center

August 17, 2016

Dear Debbie Cason:

The Team of Bandes Construction and Lunz Prebor Fowler Architects is pleased to submit our Design/Build Proposal for the construction of your new Public Works Operation Center in Pinellas Park.

We have worked diligently over the last three weeks to define both the costs and design parameters of your new facility. We have inspected the existing facility with the Architects, Engineers and Subcontractors to clarify the requirements and fully understand the scope of work.

We feel like we can deliver your new facility within your budget parameters and achieve your design intent.

We feel like we are the best team for the job.

We look forward to sitting down with your staff and ours to review our proposal in detail.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Robert Bandes', is written over a blue oval-shaped stamp or watermark.

Robert Bandes

TOTAL BID PROPOSAL FORM

MAIL TO: Purchasing Director
City of Pinellas Park
P.O. Box 3138
Pinellas Park, FL 33780-3138

DELIVER TO: Purchasing Director
City of Pinellas Park
8000 60th Street North
Pinellas Park, FL 33781

RE: Bid #16/002

Delivered F.O.B., City of Pinellas Park, Pinellas Park, Florida.

My company as identified below, submits the following proposal:

TOTAL BID PROPOSAL AMOUNT:

\$ 4,957,644.00 Four Million Nine Hundred Fifty Seven Thousand Six Hundred and Forty-Four Dollars
(THIS AMOUNT MUST INCLUDE ALL COSTS & 10% CONTINGENCY)

Exceptions and/or deviations: See Attached

I have received, read and understand all specifications and requirements.

Firm Name: Bandes Construction Company

Address: 1368 Spalding Road, Suite C

Dunedin, Florida

(Zip Code) 34698

Telephone: (Area Code: 727) 733-5558

Authorized Signature:

Robert Bandes

(Type or Print Name of Signature)

Title: President

Date: August 17, 2016

**PLEASE COMPLETE AIA G703
(EXAMPLE FOLLOWING PAGE)**

**CITY OF PINELLAS PARK
PINELLAS COUNTY, FLORIDA**

Contract No. 16/002

Proposal of Bandes Construction Company
(Name)

Address Dunedin Florida 34698
(City) (State) (Zip Code)

TO: Purchasing Division
City of Pinellas Park
8000 60th Street North
Pinellas Park, Florida 33781

Gentlemen:

The undersigned, as bidder, hereby declares that the only persons interested in this proposal as principal, or principals, is or are named herein and that no person other than herein mentioned has any interest in this proposal or in the Contract to be entered into; that this proposal is made without connection with any other person, company, or parties making a proposal; and that it is in all respects fair and in good faith without collusion or fraud.

The bidder further declares that he has examined the site(s) of the work and informed himself fully in regard to all conditions pertaining to the place where the work is to be done; that he has examined the plans for the work and other Contract Documents relative thereto and has read all of the Addenda furnished prior to the opening of the proposals, as acknowledged below; that he fully understands and has satisfied himself relative to the scope and nature of the work to be performed.

The bidder agrees that if this proposal is accepted, to contract with the City of Pinellas Park, Pinellas County, Florida, in the form of Contract attached, to furnish all necessary materials, equipment, machinery, tools, apparatus, means of transportation, and labor necessary to construct and complete the work covered by this proposal and other Contract Documents for the construction of **DESIGN/BUILD OF PUBLIC WORKS OPERATION CENTER** Contract No. 16/002 and to furnish the prescribed Performance, Payment and Guaranty Bond for no less than the total bid offered.

The bidder agrees that he will furnish within ten (10) days after being notified of the award of the Contract to him, the Performance, Payment and Guaranty Bond Form as specified in the Contract Documents written by a reputable Surety Company acceptable to the Owner and authorized to do business in the State of Florida and Pinellas County. Said Bond will be furnished for not less than the total bid offered, the premium of the Bond to be paid by the Bidder.

And the undersigned further agrees that, in case of failure on his part to execute the said Contract and furnish the said Bond within ten (10) days after being notified of the award of the Contract to him, the check or Bid Bond accompanying his bid, and the money payable thereon, will be retained as liquidated damages, but not as a penalty; otherwise, the check or Bid Bond will be returned to the undersigned.

The bidder agrees that the wage rates for laborers, mechanics, and apprentices shall be not less than those established by the State of Florida Department of Commerce for this work and included in the Supplemental General Conditions.

The bidder agrees further to begin work within ten (10) calendar days after notification of the Notice to Proceed.

The bidder also agrees to reimburse the Owner as liquidated damages, for each calendar day elapsing between the date specified for full completion and the actual date of such completion, the sum specified in the General Conditions.

Acknowledgements of Addenda

Addendum No. _____ Signature _____ L.S.

Addendum No. _____ Signature _____ L.S.

Addendum No. _____ Signature _____ L.S.

Addendum No. _____ Signature _____ L.S.

Addendum No. _____ Signature _____ L.S.

Attached is a cashier's check on the _____

Bank of _____ or a Bid Bond

for the sum of 5% of the Accompanying Bid

Dollars (\$ _____), according to the requirements of these
Contract Documents.

Respectfully submitted,

Bandes Construction Company
(Company Name)

Robert Bandes, President
(Name and Title of Authorized Company Official)

ATTEST:  _____
(Signature)

Bidder's Mailing Address:

1368 Spalding Road, Suite C

Dunedin, Florida 34698

Phone Number: 727-733-5558

The full names and residence of persons or firms interested in the foregoing Bid, as principals, are as follows:

Bandes Construction Company

1368 Spalding Road, Suite C. Dunedin, Florida 34698

The name of the executive who will give personal attention to the work:

Robert Bandes, President

The superintendent, project manager, or foremen who will exercise direct personal control of the work:

Mike Hovey

BID BOND

TRAVELERS CASUALTY AND SURETY COMPANY OF AMERICA

Hartford, Connecticut 06183

CONTRACTOR:

(Name, legal status and address)

Bandes Construction Company, Inc.

1368 Spalding Road, Suite C, Dunedin, FL 34698

OWNER:

(Name, legal status and address)

City of Pinellas Park

P.O. Box 3138, Pinellas Park, FL 33780

BOND AMOUNT: \$ ---Five Percent (5%) of Accompanying Bid---

SURETY:

(Name, legal status and principal place of business)

Travelers Casualty and Surety Company of America

One Tower Square, Hartford, CT 06813

PROJECT:

(Name, location or address, and Project number, if any)

Design/Build Services of Public Works Operation Center, 6250 82nd Avenue, Pinellas Park, FL 33781

Bid No. 16/002

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

Signed and sealed this 17th day of August, 2016.


(Witness)


(Witness) **Carol McManus**

Bandes Construction Company, Inc.

(Principal)

(Seal)

(Title) **Robert Bandes, President**

Travelers Casualty and Surety Company of America

(Surety)

(Seal)

(Title)

**Anthony T. Papa, Jr., Attorney-in-Fact and
Licensed Florida Resident Agent / A199806
Phone 941-999-1900**

TRAVELERS**POWER OF ATTORNEY**

Farmington Casualty Company
 Fidelity and Guaranty Insurance Company
 Fidelity and Guaranty Insurance Underwriters, Inc.
 St. Paul Fire and Marine Insurance Company
 St. Paul Guardian Insurance Company

St. Paul Mercury Insurance Company
 Travelers Casualty and Surety Company
 Travelers Casualty and Surety Company of America
 United States Fidelity and Guaranty Company

Attorney-In Fact No. 228608

Certificate No. 006560351

KNOW ALL MEN BY THESE PRESENTS: That Farmington Casualty Company, St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company, St. Paul Mercury Insurance Company, Travelers Casualty and Surety Company, Travelers Casualty and Surety Company of America, and United States Fidelity and Guaranty Company are corporations duly organized under the laws of the State of Connecticut, that Fidelity and Guaranty Insurance Company is a corporation duly organized under the laws of the State of Iowa, and that Fidelity and Guaranty Insurance Underwriters, Inc., is a corporation duly organized under the laws of the State of Wisconsin (herein collectively called the "Companies"), and that the Companies do hereby make, constitute and appoint

Anthony T. Papa Jr., Christine Anne Papa, Edward J. Wood, Carol McManus, and Teresa L. Steadman

of the City of Sarasota, State of Florida, their true and lawful Attorney(s)-in-Fact, each in their separate capacity if more than one is named above, to sign, execute, seal and acknowledge any and all bonds, recognizances, conditional undertakings and other writings obligatory in the nature thereof on behalf of the Companies in their business of guaranteeing the fidelity of persons, guaranteeing the performance of contracts and executing or guaranteeing bonds and undertakings required or permitted in any actions or proceedings allowed by law.

IN WITNESS WHEREOF, the Companies have caused this instrument to be signed and their corporate seals to be hereto affixed, this 17th day of November, 2015.

Farmington Casualty Company
 Fidelity and Guaranty Insurance Company
 Fidelity and Guaranty Insurance Underwriters, Inc.
 St. Paul Fire and Marine Insurance Company
 St. Paul Guardian Insurance Company

St. Paul Mercury Insurance Company
 Travelers Casualty and Surety Company
 Travelers Casualty and Surety Company of America
 United States Fidelity and Guaranty Company



State of Connecticut
 City of Hartford ss.

By: 

Robert L. Raney, Senior Vice President

On this the 17th day of November, 2015, before me personally appeared Robert L. Raney, who acknowledged himself to be the Senior Vice President of Farmington Casualty Company, Fidelity and Guaranty Insurance Company, Fidelity and Guaranty Insurance Underwriters, Inc., St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company, St. Paul Mercury Insurance Company, Travelers Casualty and Surety Company, Travelers Casualty and Surety Company of America, and United States Fidelity and Guaranty Company, and that he, as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

In Witness Whereof, I hereunto set my hand and official seal.
 My Commission expires the 30th day of June, 2016.




 Marie C. Tetreault, Notary Public

This Power of Attorney is granted under and by the authority of the following resolutions adopted by the Boards of Directors of Farmington Casualty Company, Fidelity and Guaranty Insurance Company, Fidelity and Guaranty Insurance Underwriters, Inc., St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company, St. Paul Mercury Insurance Company, Travelers Casualty and Surety Company, Travelers Casualty and Surety Company of America, and United States Fidelity and Guaranty Company, which resolutions are now in full force and effect, reading as follows:

RESOLVED, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President, any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary may appoint Attorneys-in-Fact and Agents to act for and on behalf of the Company and may give such appointee such authority as his or her certificate of authority may prescribe to sign with the Company's name and seal with the Company's seal bonds, recognizances, contracts of indemnity, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking, and any of said officers or the Board of Directors at any time may remove any such appointee and revoke the power given him or her; and it is

FURTHER RESOLVED, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President may delegate all or any part of the foregoing authority to one or more officers or employees of this Company, provided that each such delegation is in writing and a copy thereof is filed in the office of the Secretary; and it is

FURTHER RESOLVED, that any bond, recognizance, contract of indemnity, or writing obligatory in the nature of a bond, recognizance, or conditional undertaking shall be valid and binding upon the Company when (a) signed by the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary and duly attested and sealed with the Company's seal by a Secretary or Assistant Secretary; or (b) duly executed (under seal, if required) by one or more Attorneys-in-Fact and Agents pursuant to the power prescribed in his or her certificate or their certificates of authority or by one or more Company officers pursuant to a written delegation of authority; and it is

FURTHER RESOLVED, that the signature of each of the following officers: President, any Executive Vice President, any Senior Vice President, any Vice President, any Assistant Vice President, any Secretary, any Assistant Secretary, and the seal of the Company may be affixed by facsimile to any Power of Attorney or to any certificate relating thereto appointing Resident Vice Presidents, Resident Assistant Secretaries or Attorneys-in-Fact for purposes only of executing and attesting bonds and undertakings and other writings obligatory in the nature thereof, and any such Power of Attorney or certificate bearing such facsimile signature or facsimile seal shall be valid and binding upon the Company and any such power so executed and certified by such facsimile signature and facsimile seal shall be valid and binding on the Company in the future with respect to any bond or understanding to which it is attached.

I, Kevin E. Hughes, the undersigned, Assistant Secretary, of Farmington Casualty Company, Fidelity and Guaranty Insurance Company, Fidelity and Guaranty Insurance Underwriters, Inc., St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company, St. Paul Mercury Insurance Company, Travelers Casualty and Surety Company, Travelers Casualty and Surety Company of America, and United States Fidelity and Guaranty Company do hereby certify that the above and foregoing is a true and correct copy of the Power of Attorney executed by said Companies, which is in full force and effect and has not been revoked.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seals of said Companies this 17th day of August, 20 16


Kevin E. Hughes, Assistant Secretary



To verify the authenticity of this Power of Attorney, call 1-800-421-3880 or contact us at www.travelersbond.com. Please refer to the Attorney-In-Fact number, the above-named individuals and the details of the bond to which the power is attached.

SWORN STATEMENT PURSUANT TO SECTION 287.133(3)(a),
FLORIDA STATUTES, ON PUBLIC ENTITY CRIMES

THIS FORM MUST BE SIGNED AND SWORN TO IN THE PRESENCE OF A NOTARY PUBLIC OR
OTHER OFFICIAL AUTHORIZED TO ADMINISTER OATHS.

1. This sworn statement is submitted to Pinellas Park - Public Works
(print name of the public entity)

by Robert Bandes
(print individual's name and title)

for Bandes Construction Company
(print name of entity submitted sworn statement)

whose business address is:

1368 Spalding Road, Suite C

Dunedin, Florida 34698

and (if applicable) its Federal Employer Identification Number (FEIN) is 59-2817684

(If the entity has not FEIN, include the Social Security Number of the individual signing this sworn
statement:_____.)

2. I understand that a "public entity crime" as defined in Paragraph 287.133(1)(g), Florida Statutes, means a violation of any state or federal law by a person with respect to and directly related to the transaction of business with any public entity or with any agency or political subdivision of any other state or of the United States, including, but not limited to, any bid or contract for goods or services to be provided to any public entity or an agency or political subdivision of any other state or of the United States and involving antitrust, fraud, theft, bribery, collusion, racketeering, conspiracy, or material misrepresentation.
3. I understand that "convicted" or "conviction" as defined in Paragraph 287.133(1)(b), Florida Statutes, means a finding of guilt or a conviction of a public entity crime, with or without an adjudication of guilt, in any federal or state trial court of record relating to charges brought by indictment or information after July 1, 1989, as a result of a jury verdict, nonjury trial, or entry of a plea of guilty or nolo contendere.
4. I understand that an "affiliate" as defined in Paragraph 287.133(1)(a), Florida Statutes, means:
1. A predecessor or successor of a person convicted of a public entity crime; or
 2. An entity under the control of any natural person who is active in the management of the entity and who has been convicted of a public entity crime. The term "affiliate" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in the management of an affiliate. The ownership by one person of shares constituting a controlling interest in another person, or a pooling of equipment or income among persons when not fair market value under an arm's length agreement, shall be a prima facie case that one person controls another person. A person who knowingly enters into a joint venture with a person who has been convicted of a public entity crime in Florida during the preceding 36 months shall be considered an affiliate.

5. I understand that a "person" as defined in Paragraph 287.133(1)(e), Florida Statutes, means any natural person or entity organized under the laws of any state or of the United States with the legal power to enter into a binding contract and which bids or applies to bid on contract for the provision of goods or services let by a public entity, or which otherwise transacts or applies to transact business with a public entity. The term "person" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in management of an entity.
6. Based on information and belief, the statement which I have marked below is true in relation to the entity submitting this sworn statement (indicate which statement applies)

X Neither the entity submitting this sworn statement, nor any of its officers, directors, executives, partners, shareholders, employees, members, or agents who are active in the management of the entity, nor any affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989.

_____ The entity submitting this sworn statement, or one or more of its officers directors, executives, partners, shareholders, employees, members, or agents who are active in the management of the entity, or an affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989.

_____ The entity submitting this sworn statement, or one or more of its officers, directors, executives, partners, shareholders, employees, members, or agents who are active in the management of the entity, or an affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989. However, there has been a subsequent proceeding before a Hearing Officer of the State of Florida, Division of Administrative Hearings and the Final Order entered by the Hearing Officer determined that it was not in the public interest to place the entity submitting this sworn statement on the convicted vendor list. (attached a copy of the final order)

I UNDERSTAND THAT THE SUBMISSION OF THIS FORM TO THE CONTRACTING OFFICER FOR THE PUBLIC ENTITY IDENTIFIED IN PARAGRAPH 1(ONE) ABOVE IS FOR THAT PUBLIC ENTITY ONLY AND THAT THIS FORM IS VALID THROUGH DECEMBER 31 OF THE CALENDAR YEAR IN WHICH IT IS FILED. I ALSO UNDERSTAND THAT I AM REQUIRED TO INFORM THE PUBLIC ENTITY PRIOR TO ENTERING INTO A CONTRACT IN EXCESS OF THE THRESHOLD AMOUNT PROVIDED IN SECTION 287.017, FLORIDA STATUTES FOR CATEGORY TWO OF ANY CHANGE IN THE INFORMATION CONTAINED IN THIS FORM.



Signature

Sworn to and subscribed before me this 17 day of August, 2016.

Personally known X

OR Produced identification _____ Notary Public - State of Florida

(Type of identification)

My Commission Expires June 24, 2017



Heather Lynn McCormick
(Printed typed or stamped commissioned name of notary public)

FLORIDA TRENCH SAFETY ACT ACKNOWLEDGEMENT

PROJECT: BID 16/002 – DESIGN/BUILD PUBLIC WORKS OPERATION CENTER

BIDDER'S NAME: Bandes Construction Company

Bidder acknowledges that included in the various items of the proposal in the Total Bid Price are costs for complying with the Florida Trench Safety Act (Florida Statute §553.60, et.seq.). The bidder further identifies the costs to be summarized below:

<u>Trench Safety Measure (Description)</u>	<u>Units of Measure (LF, SY)</u>	<u>Unit (Quantity)</u>	<u>Unit Cost</u>	<u>Extended Cost</u>
A. _____	_____	_____	_____	_____
B. _____	_____	_____	_____	_____
C. _____	_____	_____	_____	_____
D. _____	_____	_____	_____	_____

*TOTAL: \$ 1,000.00

* This total amount is incidental to the contract bid price and is provided only as bidder acknowledgement of the Florida Trench Safety Act.

Failure to complete the above may result in the bid being declared non-responsive.



 Bidding Contractor Signature



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
8/9/2016

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Bowen, Miclette & Britt of Florida, LLC 1020 N. Orlando Avenue Suite #200 Maitland FL 32751		CONTACT NAME: Angie Desormeaux PHONE (A/C, No, Ext): 407-647-1616 E-MAIL ADDRESS: Certificates@bmbinc.com FAX (A/C, No): 407-628-1635	
		INSURER(S) AFFORDING COVERAGE	
		INSURER A: Hartford Insurance Company of the S	
		INSURER B: Twin City Fire Insurance Company	
		INSURER C: Hartford Casualty Ins. Co.	
		INSURER D: North River Insurance Co.	
		INSURER E:	
		INSURER F:	

COVERAGES

CERTIFICATE NUMBER: 1693020927

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
B	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC <input type="checkbox"/> OTHER:	Y	Y	21UENQI0509	11/2/2015	11/2/2016	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$300,000 MED EXP (Any one person) \$5,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000 \$
C	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input checked="" type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	Y	Y	21UENQT7076	11/2/2015	11/2/2016	COMBINED SINGLE LIMIT (Ea accident) \$1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
D	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$0	Y	Y	5811061014	11/2/2015	11/2/2016	EACH OCCURRENCE \$10,000,000 AGGREGATE \$10,000,000 \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N	Y	21WBQT9698	8/29/2015	8/29/2016	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$1,000,000 E.L. DISEASE - EA EMPLOYEE \$1,000,000 E.L. DISEASE - POLICY LIMIT \$1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

The following policy provisions and/or endorsements form part of the policies of insurance represented by this certificate of insurance. The terms contained in the policies and/or endorsements supersede the representations made herein. Electronic copies of the policy provisions and/or endorsements listed below are available by emailing: certificates@bmbinc.com

When required by written contract, those parties listed in said contract, including the certificate holder, are added as an additional insured with respect to the general liability, including ongoing and completed operations, auto liability and umbrella liability as afforded by the policy and/or See Attached...

CERTIFICATE HOLDER

CANCELLATION

City of Pinellas Park Human Resources Department 5141 78th Avenue North Pinellas Park FL 33781	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE

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**ADDITIONAL REMARKS SCHEDULE**Page 1 of 1

AGENCY Bowen, Miclette & Britt of Florida, LLC		NAMED INSURED Bandes Construction Co., Inc. 1368 Spalding Rd Ste C Dunedin FL 34698
POLICY NUMBER		
CARRIER	NAIC CODE	EFFECTIVE DATE:

ADDITIONAL REMARKS**THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,****FORM NUMBER:** 25 **FORM TITLE:** CERTIFICATE OF LIABILITY INSURANCE

endorsements.

When required by written contract, waiver of subrogation, with respect to the general liability, auto liability, worker's compensation and umbrella is granted to those parties listed in said contract, including the certificate holder.

The general liability and auto liability certified herein are primary and non-contributory to other insurance available, but only to the extent required by written contract.

Project Reference: City of Pinellas Park - Bid 16/002 - Design/Build of PWOC



THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

**ADDITIONAL INSURED - OWNERS, LESSEES OR
CONTRACTORS - OPTION I**

This endorsement modifies insurance provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE PART

SCHEDULE

Name Of Additional Insured Person(s) Or Organization(s):	Designated Project(s) Or Location(s) Of Covered Operations:
*Blanket; when required by written contract	
Information required to complete this Schedule, if not shown above, will be shown in the Declarations.	

- A.** With respect to those person(s) or organization(s) shown in the Schedule above when you have agreed in a written contract or written agreement to provide insurance such as is afforded under this policy to them, Subparagraph f., **Any Other Party**, under the **Additional Insureds When Required By Written Contract, Written Agreement Or Permit Paragraph of Section II – Who Is An Insured** is replaced with the following:

f. Any Other Party

Any other person or organization who is not an insured under Paragraphs **a.** through **e.** above, but only with respect to liability for "bodily injury", "property damage" or "personal and advertising injury" caused, in whole or in part, by your acts or omissions or the acts or omissions of those acting on your behalf:

- (1)** In the performance of your ongoing operations for such additional insured at the project(s) or location(s) designated in the Schedule;
- (2)** In connection with your premises owned by or rented to you and shown in the Schedule; or

- (3)** In connection with "your work" for the additional insured at the project(s) or location(s) designated in the Schedule and included within the "products-completed operations hazard", but only if:

- (a)** The written contract or written agreement requires you to provide such coverage to such additional insured at the project(s) or location(s) designated in the Schedule; and
- (b)** This Coverage Part provides coverage for "bodily injury" or "property damage" included within the "products-completed operations hazard".

The insurance afforded to the additional insured shown in the Schedule applies:

- (1)** Only if the "bodily injury" or "property damage" occurs, or the "personal and advertising injury" offense is committed:
 - (a)** During the policy period; and
 - (b)** Subsequent to the execution of such written contract or written agreement; and

- (c) Prior to the expiration of the period of time that the written contract or written agreement requires such insurance be provided to the additional insured.
- (2) Only to the extent permitted by law; and
- (3) Will not be broader than that which you are required by the written contract or written agreement to provide for such additional insured.

With respect to the insurance afforded to the person(s) or organization(s) that are additional insureds under this endorsement, the following additional exclusion applies:

This insurance does not apply to "bodily injury", "property damage" or "personal and advertising injury" arising out of the rendering of, or the failure to render, any professional architectural, engineering or surveying services, including:

- (1) The preparing, approving, or failing to prepare or approve maps, shop drawings, opinions, reports, surveys, field orders, change orders, designs or specifications; or
- (2) Supervisory, inspection, architectural or engineering activities.

The limits of insurance that apply to the additional insured shown in the Schedule are described in the Limits Of Insurance section.

How this insurance applies when other insurance is available to the additional insured is described in the Other Insurance Condition in **Section IV – Commercial General Liability Conditions**, except as otherwise amended below.

B. With respect to insurance provided to the person(s) or organization(s) that are additional insureds under this endorsement, the **When You Add Others As An Additional Insured To This Insurance** subparagraph, under the **Other Insurance** Condition of **Section IV – Commercial General Liability Conditions** is replaced with the following:

When You Add Others As An Additional Insured To This Insurance

(a) Primary Insurance When Required By Contract

This insurance is primary if you have agreed in a written contract or written agreement that this insurance be primary. If other insurance is also primary, we will share with all that other insurance by the method described in Paragraph (c) below. This insurance does not apply to other insurance to which the additional insured in the Schedule has been added as an additional insured.

(b) Primary And Non-Contributory To Other Insurance When Required By Contract

This insurance is primary to and will not seek contribution from any other insurance available to an additional insured under your policy provided that:

- (i) The additional insured in the Schedule is a Named Insured under such other insurance; and
- (ii) You have agreed in a written contract or written agreement that this insurance would be primary and would not seek contribution from any other insurance available to the additional insured in the Schedule.

(c) Method Of Sharing

If all of the other insurance permits contribution by equal shares, we will follow this method also. Under this approach, each insurer contributes equal amounts until it has paid its applicable limit of insurance or none of the loss remains, whichever comes first.

If any of the other insurance does not permit contribution by equal shares, we will contribute by limits. Under this method, each insurer's share is based on the ratio of its applicable limit of insurance to the total applicable limits of insurance of all insurers.

All other terms and conditions in the policy remain unchanged.



LUNZPRE-01

MJAMES

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

8/10/2016

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Heacock Insurance Group, Inc. 100 E. Main St. Lakeland, FL 33801	CONTACT NAME:		
	PHONE (A/C, No, Ext):	(863) 683-2228	FAX (A/C, No): (863) 683-3309
	E-MAIL ADDRESS:		
INSURED Lunz Prebor Fowler Architects 58 Lake Morton Dr Lakeland, FL 33801	INSURER(S) AFFORDING COVERAGE		NAIC #
	INSURER A : American Economy Insurance		
	INSURER B : American States Ins. Companies		12696
	INSURER C : Retail First Insurance Co.		
	INSURER D :		
	INSURER E :		
INSURER F :			

COVERAGES

CERTIFICATE NUMBER:

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			02BP8994287	08/01/2016	08/01/2017	EACH OCCURRENCE	\$ 2,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 2,000,000
							MED EXP (Any one person)	\$ 10,000
							PERSONAL & ADV INJURY	\$ 2,000,000
							GENERAL AGGREGATE	\$ 4,000,000
							PRODUCTS - COMP/OP AGG	\$ 2,000,000
								\$
								\$
								\$
								\$
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> EXCESS LIAB DED <input checked="" type="checkbox"/> RETENTION \$ 0 WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below			01XS1686962	08/01/2016	08/01/2017	EACH OCCURRENCE	\$ 1,000,000
							AGGREGATE	\$ 1,000,000
								\$
								\$
								\$
								\$
								\$
								\$
								\$
								\$
C	<input type="checkbox"/> AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS Y / N N / A			52014179	01/01/2016	01/01/2017	PER STATUTE	
							OTH-ER	
							E.L. EACH ACCIDENT	\$ 1,000,000
							E.L. DISEASE - EA EMPLOYEE	\$ 1,000,000
							E.L. DISEASE - POLICY LIMIT	\$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Project Reference: City of Pinellas Park - Bid 16/002 - Design/Build of PWOC

CERTIFICATE HOLDER

CANCELLATION

City of Pinellas Park Human Resources Department 5141 78th Avenue North Pinellas Park, FL 33781	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE <i>Edward Chinn</i>

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ACORDTM**CERTIFICATE OF LIABILITY INSURANCE**

DATE (MM/DD/YYYY)

8/10/2016

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

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PRODUCER Lanier Upshaw, Inc. 1115 US Hwy 98 South P.O. Box 468 Lakeland, FL 33802	CONTACT NAME: Eric Nettles PHONE (A/C, No, Ext): 863 686-2113 FAX (A/C, No): 863 682-6292 E-MAIL ADDRESS: Eric.Nettles@LanierUpshaw.com																					
INSURED Lunz Prebor Fowler Architects, Inc. 58 Lake Morton Drive Lakeland, FL 33801-5344	<table border="1"> <tr> <th colspan="2">INSURER(S) AFFORDING COVERAGE</th><th>NAIC #</th></tr> <tr> <td colspan="2">INSURER A : Travelers Casualty & Surety Co.</td><td>31194</td></tr> <tr> <td colspan="2">INSURER B :</td><td></td></tr> <tr> <td colspan="2">INSURER C :</td><td></td></tr> <tr> <td colspan="2">INSURER D :</td><td></td></tr> <tr> <td colspan="2">INSURER E :</td><td></td></tr> <tr> <td colspan="2">INSURER F :</td><td></td></tr> </table>	INSURER(S) AFFORDING COVERAGE		NAIC #	INSURER A : Travelers Casualty & Surety Co.		31194	INSURER B :			INSURER C :			INSURER D :			INSURER E :			INSURER F :		
INSURER(S) AFFORDING COVERAGE		NAIC #																				
INSURER A : Travelers Casualty & Surety Co.		31194																				
INSURER B :																						
INSURER C :																						
INSURER D :																						
INSURER E :																						
INSURER F :																						

COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:						EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$ \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N/A				PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
A	Professional			105894399	02/15/2016	02/15/2017	2,000,000


DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

**** Supplemental Name ****

Lunz Prebor Fowler Architects, Inc.
dba Graham Design

Project Reference: City of Pinellas Park-Bid 16/002-Design/Build of PWOC

CERTIFICATE HOLDER**CANCELLATION**

City of Pinellas Park Human Resources Department 5141 78th Ave North Pinellas Park, FL 33781	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

8/10/2016

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IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Stahl & Associates Insurance Inc. 91 Lake Morton Drive P O Box 3608 Lakeland FL 33802	CONTACT NAME: Michele Crifasi PHONE (A/C, No. Ext): (863) 688-5495 E-MAIL ADDRESS: michele.crifasi@stahlinsurance.com FAX (A/C, No): (863) 688-4344
INSURED LUNZ PREBOR AND FOWLER ARCHITECTS 58 LAKE MORTON DR LAKELAND FL 33801-5344	INSURER(S) AFFORDING COVERAGE INSURER A: Auto Owners Insurance Co INSURER B: INSURER C: INSURER D: INSURER E: INSURER F:
	NAIC # 18988

COVERAGES

CERTIFICATE NUMBER: 1617 Master

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	COMMERCIAL GENERAL LIABILITY						EACH OCCURRENCE \$
	<input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR						DAMAGE TO RENTED PREMISES (Ea occurrence) \$
							MED EXP (Any one person) \$
							PERSONAL & ADV INJURY \$
	GEN'L AGGREGATE LIMIT APPLIES PER:						GENERAL AGGREGATE \$
	<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC						PRODUCTS - COMP/OP AGG \$
	OTHER:						\$
A	AUTOMOBILE LIABILITY			9654111300	8/1/2016	8/1/2017	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO						BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS						BODILY INJURY (Per accident) \$
	<input type="checkbox"/> HIRED AUTOS						PROPERTY DAMAGE (Per accident) \$
							Uninsured motorist BI split limit \$ 1,000,000
	UMBRELLA LIAB						EACH OCCURRENCE \$
	EXCESS LIAB						AGGREGATE \$
	DED RETENTION \$						\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						PER STATUTE OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	Y/N	N/A				E.L. EACH ACCIDENT \$
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE \$
							E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

City of Pinellas Park - Bid 16/002 - Design/Build of PWOC

CERTIFICATE HOLDER

City of Pinellas Park
Human Resources Department
5141 78th Avenue North
Pinellas Park, FL 33781

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Gerald Powell/MIRAN

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May 17, 2016

PROJECT # Bid 16/002 – Design/Build of P.W.O.C.

INDEMNIFICATION AND HOLD HARMLESS AGREEMENT

PROJECT/SERVICE CONTRACT NAME: Bid 16/002 – Design/Build of P.W.O.C.

By this agreement, Bandes Construction, hereinafter "CONTRACTOR", agrees to indemnify and hold harmless the City Of Pinellas Park, and its agents and employees, from liabilities, damages, losses, and costs, including, but not limited to, reasonable attorneys' fees, to the extent caused by the negligence, recklessness, or intentionally wrongful conduct of the design professional and other persons employed or utilized by the design professional in the performance of the contract.

Date August 17, 2016

Contractor Bandes Construction Company

Print Name Robert Bandes

Address 1368 Spalding Road, Suite C, Dunedin, Florida 34698

Signature 

Title President

President, Vice-President, or Treasurer

CORPORATE SEAL

CONTINUATION SHEET

AIA DOCUMENT G703

AIA Document G702, APPLICATION AND CERTIFICATION FOR PAYMENT, containing Contractor's signed certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NO: **1**
APPLICATION DATE: **8/17/16**

PERIOD TO:
ARCHITECT'S PROJECT NO:
Project Pinellas Park Design Build 16/00

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	D WORK COMPLETED		F MATERIALS PRESENTLY STORED (NOT IN D OR E)	G		H BALANCE TO FINISH (C - G)	I RETAINAGE (IF VARIABLE RATE)
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD		TOTAL COMPLETED AND STORED TO DATE (D+E+F)	% (G ÷ C)		
	<u>Division #1</u>								
01-01	General Conditions	\$200,000.00		0.00		0.00	0%	200,000.00	0.00
01-02	A/E Fees	\$250,000.00		0.00		0.00	0%	250,000.00	0.00
01-03	Builders Risk Insurance	\$23,100.00		0.00		0.00	0%	15,416.00	0.00
01-04	Liability Insurance	\$53,375.00		0.00		0.00	0%	53,375.00	0.00
01-05	Payment and Performance Bonds	\$52,550.00		0.00		0.00	0%	52,550.00	0.00
01-06	Testing	\$20,000.00		0.00		0.00	0%	20,000.00	0.00
	<u>Division #2</u>								
02-01	Demolition	\$148,500.00		0.00		0.00	0%	148,500.00	0.00
02-02	Demo for Masonry Openings	\$25,080.00		0.00		0.00	0%	25,080.00	0.00
02-03	Sitework	\$100,000.00		0.00		0.00	0%	100,000.00	0.00
02-04	Import Fill	\$6,912.00		0.00		0.00	0%	6,912.00	0.00
02-05	Paving / Base	\$24,000.00		0.00		0.00	0%	24,000.00	0.00
02-06	"D" Curb	\$2,160.00		0.00		0.00	0%	2,160.00	0.00
02-07	Concrete Paving	\$3,080.00		0.00		0.00	0%	3,080.00	0.00
02-08	Picture Frame Sidewalk	\$9,968.00		0.00		0.00	0%	9,968.00	0.00
02-09	Sidewalk	\$2,800.00		0.00		0.00	0%	2,800.00	0.00
02-10	Entry Ramp / Steps	\$7,000.00		0.00		0.00	0%	7,000.00	0.00
02-11	Platform / Ramp Foundation	\$1,980.00		0.00		0.00	0%	1,980.00	0.00
02-12	Fill Platform / Ramp	\$990.00		0.00		0.00	0%	990.00	0.00
02-13	Rear Walks / Ramps	\$7,500.00		0.00		0.00	0%	7,500.00	0.00
02-14	Landscaping / Irrigation Allowance /Sod Allowance	\$10,000.00		0.00		0.00	0%	10,000.00	0.00
02-15	Install Gate / Panic Bar	\$1,000.00		0.00		0.00	0%	1,000.00	0.00
02-16	Soil Poisoning	\$660.00		0.00		0.00	0%	660.00	0.00
	<u>Division #3</u>								
03-01	Replace Slab on Grade	\$32,100.00		0.00		0.00	0%	32,100.00	0.00
03-02	Infill Slab at Rear Doors & Dock Leveler	\$1,500.00		0.00		0.00	0%	1,500.00	0.00
03-03	Housekeeping Pads	\$3,000.00		0.00		0.00	0%	3,000.00	0.00
03-04	Slab Leveling Allowance	\$50,000.00		0.00		0.00	0%	50,000.00	0.00
03-05	Patch Second Floor Slab	\$1,500.00		0.00		0.00	0%	1,500.00	0.00
03-06	Canopy Column Pads	\$6,400.00		0.00		0.00	0%	6,400.00	0.00

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03-07	Entry Columns / Beams	\$10,000.00		0.00		0.00	0%	10,000.00	0.00
03-08	Elevator Pit	\$6,500.00		0.00		0.00	0%	6,500.00	0.00
03-09	Elevator Beams	\$3,840.00		0.00		0.00	0%	3,840.00	0.00
03-10	Elevator Roof	\$1,920.00		0.00		0.00	0%	1,920.00	0.00
03-11	Infill Deck	\$1,000.00		0.00		0.00	0%	1,000.00	0.00
03-12	Plumbing / Electrical Trenches	\$18,720.00		0.00		0.00	0%	18,720.00	0.00
03-13	Rebar	\$7,000.00		0.00		0.00	0%	7,000.00	0.00
	<u>Division #4</u>								
04-01	Add Filled Cells	\$160,000.00		0.00		0.00	0%	160,000.00	0.00
04-02	Rear Ramp Stem Walls	\$1,400.00		0.00		0.00	0%	1,400.00	0.00
04-03	Elevator Masonry	\$14,400.00		0.00		0.00	0%	14,400.00	0.00
04-04	Infill Masonry Openings	\$15,360.00		0.00		0.00	0%	15,360.00	0.00
04-05	New Masonry Openings	\$13,500.00		0.00		0.00	0%	13,500.00	0.00
04-06	Repair Dock	\$6,000.00		0.00		0.00	0%	6,000.00	0.00
04-07	Stone (44 x 16)	\$10,560.00		0.00		0.00	0%	10,560.00	0.00
	<u>Division #5</u>								
05-01	Unforseen Structural Steel Repairs	\$10,000.00		0.00		0.00	0%	10,000.00	0.00
05-02	20 ga Roof Deck	\$75,950.00		0.00		0.00	0%	75,950.00	0.00
05-03	Steel Bridging	\$21,100.00		0.00		0.00	0%	21,100.00	0.00
05-04	Infill Deck 2nd Floor Deck	\$700.00		0.00		0.00	0%	700.00	0.00
05-05	Roof Ladder	\$1,000.00		0.00		0.00	0%	1,000.00	0.00
05-06	Trim 2nd Floor Slab Edge at New Cuts	\$3,480.00		0.00		0.00	0%	3,480.00	0.00
05-07	Joist Changes for Elevator	\$5,000.00		0.00		0.00	0%	5,000.00	0.00
05-08	Shoring	\$10,000.00		0.00		0.00	0%	10,000.00	0.00
05-09	Interior Metal Pan Stairs	\$40,000.00		0.00		0.00	0%	40,000.00	0.00
05-10	Exterior Metal Pan Stairs	\$48,000.00		0.00		0.00	0%	48,000.00	0.00
05-11	RTU Framing	\$9,000.00		0.00		0.00	0%	9,000.00	0.00
05-12	Fan Roof Hatch Framing	\$1,500.00		0.00		0.00	0%	1,500.00	0.00
05-13	Operable Wall Support	\$4,000.00		0.00		0.00	0%	4,000.00	0.00
05-14	Replace Pipe Column Metal Bldg	\$2,000.00		0.00		0.00	0%	2,000.00	0.00
05-15	Mezzanine Rail	\$23,500.00		0.00		0.00	0%	23,500.00	0.00

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05-16	Entry Feature	\$100,000.00		0.00		0.00	0%	100,000.00	0.00
05-17	Step Rail	\$3,200.00		0.00		0.00	0%	3,200.00	0.00
05-18	Wall Rail	\$2,640.00		0.00		0.00	0%	2,640.00	0.00
05-19	Hand Rail	\$10,720.00		0.00		0.00	0%	10,720.00	0.00
	<u>Division #6</u>								
06-01	Wood Joist / Beam Repair Allowance	\$2,500.00		0.00		0.00	0%	2,500.00	0.00
06-02	Upgrade Wood Structure	\$1,000.00		0.00		0.00	0%	1,000.00	0.00
06-03	Wood Soffit	\$900.00		0.00		0.00	0%	900.00	0.00
06-04	Wall Blocking	\$600.00		0.00		0.00	0%	600.00	0.00
06-05	Plywood Backing	\$3,150.00		0.00		0.00	0%	3,150.00	0.00
06-06	Reception Desk Allowance	\$8,000.00		0.00		0.00	0%	8,000.00	0.00
06-07	Cabinet Allowance	\$26,000.00		0.00		0.00	0%	26,000.00	0.00
06-08	Millwork (Exclude)	\$0.00		0.00		0.00	0%	0.00	0.00
	<u>Division #7</u>								
07-01	Roofing	\$233,200.00		0.00		0.00	0%	233,200.00	0.00
07-02	Fire Stops	\$1,000.00		0.00		0.00	0%	1,000.00	0.00
07-03	Insulation	\$3,600.00		0.00		0.00	0%	3,600.00	0.00
07-04	Pit Waterproofing	\$500.00		0.00		0.00	0%	500.00	0.00
07-05	Vapor Retarder Exterior Conditioned Walls	\$9,465.00		0.00		0.00	0%	9,465.00	0.00
	<u>Division #8</u>								
08-01	Exterior HM Doors	\$8,988.00		0.00		0.00	0%	8,988.00	0.00
08-02	Exterior HM Doors w / Panic Bar	\$17,523.00		0.00		0.00	0%	17,523.00	0.00
08-03	Interior HM Door	\$5,600.00		0.00		0.00	0%	5,600.00	0.00
08-04	Interior Doors, Frames, Hardware (SC)	\$16,000.00		0.00		0.00	0%	16,000.00	0.00
08-05	Interior Doors w / 3' sidelight	\$18,400.00		0.00		0.00	0%	18,400.00	0.00
08-06	Interior Doors w / 8' sidelight	\$2,888.00		0.00		0.00	0%	2,888.00	0.00
08-07	Fire Doors	\$7,920.00		0.00		0.00	0%	7,920.00	0.00
08-08	Fire Doors (Pair)	\$6,142.00		0.00		0.00	0%	6,142.00	0.00
08-09	Door Labor	\$8,125.00		0.00		0.00	0%	8,125.00	0.00
08-10	Interior Hollow Metal Window Frames	\$7,280.00		0.00		0.00	0%	7,280.00	0.00

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08-11	Glazing	\$9,912.00		0.00		0.00	0%	9,912.00	0.00
08-12	Single Storefront Doors (Fitness)	\$18,000.00		0.00		0.00	0%	18,000.00	0.00
08-13	Double Storefront Doors / Curtain Wall	\$30,000.00		0.00		0.00	0%	30,000.00	0.00
08-14	Storefront Windows	\$24,960.00		0.00		0.00	0%	24,960.00	0.00
08-15	Interior Storefront Window	\$1,600.00		0.00		0.00	0%	1,600.00	0.00
08-16	Coiling Fire Door	\$2,957.00		0.00		0.00	0%	2,957.00	0.00
08-17	Insulated Overhead Door (12' x 10')	\$9,096.00		0.00		0.00	0%	9,096.00	0.00
08-18	Overhead Doors (3 @ 10 x10, 5 @ 12x14)	\$30,267.00		0.00		0.00	0%	30,267.00	0.00
	Division #9								
09-01	Ceramic Floor Tile & Base	\$20,032.00		0.00		0.00	0%	20,032.00	0.00
09-02	Ceramic Wall Tile	\$8,160.00		0.00		0.00	0%	8,160.00	0.00
09-03	Tile Showers	\$24,000.00		0.00		0.00	0%	24,000.00	0.00
09-04	Drywall Walls	\$75,720.00		0.00		0.00	0%	75,720.00	0.00
09-05	Fire Walls	\$24,700.00		0.00		0.00	0%	24,700.00	0.00
09-06	Drywall Ceilings (Showers)	\$1,600.00		0.00		0.00	0%	1,600.00	0.00
09-07	Drywall on Furring w/ insulation	\$72,272.00		0.00		0.00	0%	72,272.00	0.00
09-08	Add for Joist Patching	\$4,900.00		0.00		0.00	0%	4,900.00	0.00
09-09	Stucco Band 12' x 2"	\$4,600.00		0.00		0.00	0%	4,600.00	0.00
09-10	Stucco Infills	\$4,320.00		0.00		0.00	0%	4,320.00	0.00
09-11	Stucco Patching	\$6,000.00		0.00		0.00	0%	6,000.00	0.00
09-12	Acoustical Ceilings	\$18,000.00		0.00		0.00	0%	18,000.00	0.00
09-13	Epoxy Floor	\$104,000.00		0.00		0.00	0%	104,000.00	0.00
09-14	Vinyl Base	\$4,530.00		0.00		0.00	0%	4,530.00	0.00
09-15	Carpet Tile	\$31,668.00		0.00		0.00	0%	31,668.00	0.00
09-16	Metal Wall Panels	\$15,000.00		0.00		0.00	0%	15,000.00	0.00
09-17	Exercise Room Floor	\$15,264.00		0.00		0.00	0%	15,264.00	0.00
09-18	Interior Painting	\$25,031.00		0.00		0.00	0%	25,031.00	0.00
09-19	Paint Roof Deck	\$63,000.00		0.00		0.00	0%	63,000.00	0.00
09-20	Exterior Painting	\$25,160.00		0.00		0.00	0%	25,160.00	0.00
	Division #10								
10-01	Room Signage Allowance	\$3,000.00		0.00		0.00	0%	3,000.00	0.00

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10-02	Building Signage	\$10,000.00		0.00		0.00	0%	10,000.00	0.00
10-03	Fire Extinguishers / Cabinets	\$4,400.00		0.00		0.00	0%	4,400.00	0.00
10-04	Operable Partition 41 STC	\$15,600.00		0.00		0.00	0%	15,600.00	0.00
10-05	Shower Curtains	\$800.00							
10-06	Shower Benches	\$5,500.00		0.00		0.00	0%	5,500.00	0.00
10-07	Lockers	\$4,290.00		0.00		0.00	0%	4,290.00	0.00
10-08	Toilet Partitions	\$18,000.00		0.00		0.00	0%	18,000.00	0.00
10-09	Urinal Screens	\$900.00		0.00		0.00	0%	900.00	0.00
10-10	Vanity Mirrors 12' x 3'	\$720.00		0.00		0.00	0%	720.00	0.00
10-11	Toilet Accessories	\$6,300.00		0.00		0.00	0%	6,300.00	0.00
	<u>Division #11</u>								
11-01	Dock Bumpers	\$750.00		0.00		0.00	0%	750.00	0.00
	<u>Division #12</u>								
12-01	Window Treatments	\$0.00		0.00		0.00	0%	0.00	0.00
	<u>Division #13</u>								
13-01	Canopies	\$73,575.00		0.00		0.00	0%	73,575.00	0.00
	<u>Division #14</u>								
14-01	Elevator	\$60,000.00		0.00		0.00	0%	60,000.00	0.00
	<u>Division #15</u>								
15-01	Plumbing	\$77,000.00		0.00		0.00	0%	77,000.00	0.00
15-02	80 Gallon Water Heater / Recirculation	\$12,000.00		0.00		0.00	0%	12,000.00	0.00
15-03	Air Compressor / Air Lines	\$20,000.00		0.00		0.00	0%	20,000.00	0.00
15-04	Trench Drain	\$8,000.00		0.00		0.00	0%	8,000.00	0.00
15-05	Oil Separator	\$12,500.00		0.00		0.00	0%	12,500.00	0.00
15-06	Fire Sprinkler	\$79,650.00		0.00		0.00	0%	79,650.00	0.00

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15-07	HVAC	\$386,000.00		0.00		0.00	0%	386,000.00	0.00
		\$0.00		0.00		0.00	0%	0.00	0.00
	Division #16								
16-01	Electrical	\$484,659.00		0.00		0.00	0%	484,659.00	0.00
06-02	Light Fixture Allowance	\$185,000.00		0.00		0.00	0%	185,000.00	0.00
	CONTINGENCY (10%)	\$451,457.00		0.00		0.00	0%	451,457.00	0.00
	OH&P	\$295,352.00		0.00		0.00	0%	295,352.00	0.00
	GRAND TOTALS		\$0	0.00	\$0	0.00	0%	4,957,644.00	0.00

CLARIFICATIONS

City of Pinellas Park, Florida - BID 16/002 - Design/Build - Public Works Operation Center

DIVISION 02 – SITE WORK

- It is assumed existing water and sanitary sewer service to the building is in working order and size is sufficient to handle new demand. No new water or sanitary service is included.
- Downspouts will not be tied into storm system.
- Backflow device for Fire Line is not included (See Alternates).
- Sidewalks at front of building will be picture framed.

DIVISION 03 – CONCRETE WORK

- Concrete slab under 2nd floor of Admin will be removed in area of unusual settlement. No remedial work for this problem has been identified.
- Approximately 3,000 sf. of slab on grade will be removed and re-poured in Fleet services in order to allow slope to new floor drains.
- A 5' wide platform will be added at rear of building to accommodate two fire exits. A ramp will be added to the platform and a 5' sidewalk from the ramp to the road to the West.
- All slab on grade will be reinforced with 6 x 6 10/10 WWM.
- Repair of existing 2nd Floor concrete deck.
- Plumbing and Electrical Trenches.

DIVISION 04 – MASONRY WORK

- The metal building structure should have been built and inspected per the 2004 FBC with 2005, 2006 and 2007 revisions, which would be the equivalent to a Category 3 Hurricane. If it is discovered during construction that this is not the case, any additional retrofit work required would be additional cost.
- Masonry exterior walls at Admin and Warehouse will be reinforced at 24" o.c vertically from the foundation to roof beam with one #5 rebar, except the second floor of the Admin which will be 48" o.c.
- New masonry openings will be sawcut into existing walls to provide for new windows and doors.



DIVISION 05 – METALS

- New 1 ½" 20 ga. metal deck will be installed in the Admin and Warehouse area to meet design criteria.
- Continuous 1" x 1" bridging will be added to each end of all roof joists in Admin and Warehouse at the first lower panel point.
- 2nd Floor will be infilled at removed stairs.
- Joists will be modified for new elevator.
- Roof framing and joist modifications for RTU's and fans will be added.
- Install structural support for operable wall.
- Interior and exterior metal pan stairs.
- Roof access ladder.
- Replace one pipe column.

DIVISION 06 – WOOD & PLASTICS

- Repair of wood frame construction at small dock area.
- Install soffit at small dock area (Sign Shop).
- New wood roof blocking at Warehouse and Admin.
- Countertops to be white Corian.

DIVISION 07 – THERMAL & MOISTURE PROTECTION

- White Firestone 60 mil TPO roofing will be installed over Polyisocyanurate insulation. Includes 20yr NDL and 2yr labor warranties.
- Two layers of R-19 at the Admin roof and one layer of R-8 at the Warehouse roof.
- New flashings, gutters and downspouts will also be installed.
- Roof will pitch with existing structure.
- Install Bilco S-20 Roof Hatch
- Perimeter walls of conditioned areas will have metal studs with R-11 batt insulation.
- The masonry walls will be sealed with a vapor retarder.



DIVISION 08 – WINDOWS, DOORS & HARDWARE

- Exterior windows are YKK with glazing to meet current code.
- Interior door and window frames are hollow metal with tempered glass.
- Entrance doors to Administration and Fitness Center are storefront.
- All other exterior doors and doors in unconditioned areas are hollow metal.
- Interior doors are prefinished solid core wood doors in hollow metal frames.
- Fire rated coiling door in kitchen.
- Overhead doors will be replaced with new manual overhead doors
- New insulated door will be installed at sign shop.
- Include 12' x 3' mirrors at Locker Room vanities.

DIVISION 09 – FINISHES

- Restroom floors to Daltile 12" x 12" Salerno or approved equal.
- Restroom walls to be epoxy paint except wet walls to have 5' wainscot to match floor.
- Shower floors and walls to be Daltile 2" x 2".
- Offices, Conference Room and Meeting Rooms flooring to be Bigelow standard carpet tile or equal.
- Mezzanine floor to be carpet tile.
- Floor in Admin open area Epoxy with non-slip finish.
- Exposed metal deck and joist to be painted.
- Walls in restrooms to be Epoxy painted except tile wainscot.
- Acoustical ceilings installed in Locker Rooms, Meeting Rooms, Conference Room, Lounge, Gym, Sign Shop, and Facilities Office.
- Metal wall panels will be installed at entry and exterior of Conference Room.
- Feature wall at Conference Room will have stone veneer.
- A 2" x 12" stucco band will be installed at the front of the Admin and Fitness Buildings.



DIVISION 10 – SPECIALTIES

- Toilet compartments and urinal screens to be solid surface.
- Operable partition (STC 41) will be installed between Meeting Rooms.
- Eleven shower benches.
- Thirty-three metal lockers.
- Toilet accessories per code.

DIVISION 11 – EQUIPMENT

- By Owner

DIVISION 12 – FURNISHINGS

- By Owner

DIVISION 13 – SPECIAL CONSTRUCTION

- Two metal building canopies (96' x 30' and 45' x 45').

DIVISION 14 – CONVEYING SYSTEMS

- An Otis (or equal) 2500 lb. two stop elevator with one door, will be installed for access to the 2nd floor offices.



DIVISION 15 -MECHANICAL WORK

- Existing fire sprinkler system is assumed to be in good working order. Older existing riser will be Replaced.
- System will be flushed and pressure tested. No repairs are not included.
- 80-gal water heater for Admin.
- Instahot for Gym restrooms.
- Two 15 HP Air Compressors.
- 200 ft. of compressed air piping
- Trench drain at vehicle lifts.
- Oil separator

DIVISION 16 – ELECTRICAL WORK

ALTERNATES

- Generator - \$ 153,733.00
- Offsite Parking:
 - Concept A - \$206,278.00
 - Concept B - \$221,366.00
 - Concept C - \$225,767.00
- Fire Line Backflow Preventer / PIV - \$13,343.00
- Replace Existing Fire Sprinkler Piping - \$36,215.000
- Parking Lot Lighting Allowance - \$61,286.00



ALLOWANCES

- Landscaping, Irrigation and Sod.
- Slab Leveling
- Unforeseen Structural Steel repairs
- Reception Desk
- Cabinets
- Room Signage
- Parking Lot Lighting Allowance - \$61,286.00

EXCLUSIONS

- Asbestos survey and asbestos abatement is excluded.
- Removal and disposal of hazardous materials or contaminated soils.
- Relocation of underground utilities.
- Governmental Fees and Provider Fees.
- Any work on Warehouse slab.
- Remedial work discovered at area of abnormal settlement in Admin.
- Millwork
- All work in kitchen.
- Electric hand dryers.
- Lube and Oil equipment.
- Window treatments.
- Carbon Monoxide system in Fleet Services

OUTLINE SPECIFICATIONS

**PINELLAS PARK
PUBLIC WORKS OPERATION CENTER
AT
2650 82ND AVE. NORTH
PINELLAS PARK, FLORIDA**

08-16-16

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DIVISION 1 - GENERAL REQUIREMENTS

01010 Summary of Work

The Prime Contract defines the "Project" and the "Work". If there is a conflict between the Prime Contract and the Contract Drawings and Specifications, the Prime Contract will control. Reference the Prime Contract for additional General Requirements. The Prime Contract Documents include the Contract (Agreement), Contract Drawings, and Contract Specifications.

The Contract Specifications are arranged into divisions and sections based upon Master Format Indexing, as published by the Construction Specifications Institute, for convenience and consistency with the typical practices of the construction industry.

Definitions: Within the scope of the specifications the following definitions will apply.

Design-Builder: An Independent contractor responsible for procuring or furnishing the design and for the construction of the Work consistent with the Owner's Program. In this document Design-Builder, General Contractor and Design Firm may be used to identify the same entity.

Project Architect: Representative responsible for assembly and coordination of all professional services on the project, maintaining design intent throughout the project, performing regular on-site inspections during construction, and determining substantial completion.

Project Manager: Design-Builder's representative for all management of construction, management of the Prime Contract, ensuring that the project is constructed in conformance to the Prime Contract and Construction Documents and maintaining communication with the Owner.

Project Engineer: Each of several lead engineers representing various Engineering disciplines employed by the Design Firm responsible for application and coordination of professional engineering services on the project.

Job Superintendent: Design-Builder's on-site representative, responsible for directing and coordinating all trades and contractors.

Subcontractor: Each of several subcontractors, jointly or individually.

The General Contractor will confine construction activities as required to perform the Work on the site as described in the Prime Contract, adjacent public ways, other properties with permission granted and as permitted by law, ordinances or local regulations. Reasonable Owner use or access restrictions to the site will be accommodated upon mutual agreement with the General Contractor, as long as the ability to perform the Work is not adversely affected.

Work Sequence: The General Contractor will establish the sequence of activities required to perform the Work. Specific Owner requests may be accommodated upon mutual agreement with the General Contractor, unless the project completion schedule or the ability to perform the Work in a reasonable manner are adversely affected.

Cleaning: The General Contractor will keep the premises and surrounding area free from accumulation of waste materials or rubbish related to the performance of the Work.

Occupancy: Reference Prime Contract, Article 3, Completion.

01020 Allowances

Allowances, if any, are identified in the Exhibits of the Contractors Bid Proposal.

01025 Measurement and Payment

Reference Prime Contract, Article 4, Contract Sum and Terms of Payment. The Project Manager will provide a Schedule of Values for the Project.

01035 Modification Procedures

Reference Prime Contract, Article 5, Changes in the Work. Owner directives, instructions or field orders which affect the Contract Sum or Contract Time must be directed in writing to the General Contractors Representatives; Project Architect, Project Manager, and Job Superintendent. The General Contractors sub-contractors are not authorized to take direction from the Owner.

01040 Coordination

Owner Furnished Products: The General Contractor will cooperate with the Owner's suppliers and installers for products not included in the Prime Contract but which the Owner desires to be delivered or installed at the site prior to project completion. The Owner must receive approval from the General Contractor for all such products. The General Contractor will authorize the schedule for product delivery or installation at the site. The General Contractor may assist the Owner's suppliers and installers at the site but bears no responsibility for the condition of the products or their installation. The General Contractor will take reasonable precautions to protect Owner furnished products at the site but assumes no responsibility for their safekeeping.

Work by Others: The General Contractor will cooperate with other contractors selected by the Owner to perform work not included in the Prime Contract. The Owner must receive approval from the General Contractor for all such Contracts. The General Contractor will authorize the schedule for the work of such Contracts at the site. The General Contractor may assist the Owner in letting other Contracts but bears no responsibility for the performance of such contractors or their Work.

Cutting and Patching: The General Contractor will cut, patch or properly fit together as required to complete the Work. The General Contractor will not cut, patch or otherwise alter the work of the Owner or its contractors without their consent nor will the Owner or its contractors cut, patch or otherwise alter the work of the General Contractor without consent. The General Contractor and the Owner will not unreasonably withhold their consent for cutting, patching or alterations for the completion of their work.

1-2

01050 Field Engineering

The General Contractor will provide the necessary field engineering including surveying, staking and layout of the project site as required to perform the Work, except as indicated to be provided by the Owner in the Prime Contract, Article IO, Owner Responsibilities.

01060 Regulatory Requirements

Reference Prime Contract, Article 10, Owner Responsibilities and Article I 1, General Contractors Responsibilities.

01200 Project Meetings

The Project Manager or the Project Architect will schedule and conduct regular project meetings at mutually convenient times with the Owner during the course of the Work.

01300 Submittals

Shop drawings, product data and samples are not Prime Contract Documents. The General Contractor and the Design Firm will coordinate the review and approval of subcontractor, manufacturer and supplier submittals as required to perform the Work.

The Design firm will solicit the Owner's review of submittals prior to approval for items of interest expressed by the Owner. The Owner will provide written request for pre-approval submittal review within 30 days after contract signing. Upon request, Owner may review approved submittals for the Project.

Upon request, the Owner will provide for review by the General Contractor and Design firm, submittals of shop drawings, product data and samples from the Owner contractors, suppliers and installers for Work by Others on the Project.

The General Contractor will coordinate submission of quality control reports as required by the local building inspection authorities.

01400 Quality Control

The General Contractor or its Subcontractor will provide testing and inspection services, as required for the performance of the Work and as required by the local, state, and federal building inspection authorities.

The testing and inspection services include the following.

Cast-in-place concrete strength.

Structural framing erection.

Mechanical equipment testing, adjusting and balancing.

1-3

Piping systems testing, adjusting and balancing.

HVAC systems testing, adjusting and air balancing.

Electrical systems testing and start-up.

Testing and inspection services desired by the Owner which are in addition to those provided by the General Contractor will be at Owner's cost. General Contractor will provide reasonable access to site and materials for Owner testing agency. Upon request, Owner will provide General Contractor quality control reports by Owner testing agencies for services provided to the project.

The General Contractor will provide typical samples of significant exterior and interior finish materials for review by the Owner.

01500 Construction Facilities and Temporary Controls

Temporary Utilities: The General Contractor will be responsible for, and pay for, all utilities, including electricity, water and heating energy, and will provide necessary temporary equipment until the building is completed or occupied by Owner. Utilities for construction in existing buildings will be provided by Owner.

Safety: The General Contractor requires all their employees and sub-contractors to abide by the rules and policies of its Safety Program. The Owner's representatives and sub-contractors will also be required to abide by the General Contractor rules and policies of the Safety Program while on the site.

Security: The General Contractor will be responsible for the security of the site using methods as required by project conditions.

Site Access: Owner's representatives, sub-contractors and visitors to the site must be acknowledged by the General Contractor's site representatives prior to access to the site for each occurrence. The General Contractor will reasonably accommodate site access to the Owner. Scheduled or prior notice of site visits by the Owner is requested by the General Contractor.

Project Identification Sign: The General Contractor will be allowed to provide their standard project identification sign.

Temporary Facilities: The General Contractor may provide temporary field offices, sheds, parking areas or access roads on the site in the course of the performance of the Work. Temporary facilities will not be placed or constructed on properties off the site unless permission is granted by the owner of that off site property.

Traffic Regulation: The General Contractor will cooperate with the Owner, adjacent land owners and the local authorities to control the construction related traffic and parking. Reasonable access and parking are anticipated by the General Contractor to be available for the performance of the Work.

01600 Materials and Equipment

All materials and equipment provided to the Project to satisfy the Work will be new and of such quality as required to satisfy the standard of the Contract Documents. Material and equipment selections are based upon the performance specification set forth by this document.

The General Contractor may approve material or equipment selections which meet or exceed the standards established within the specifications. The General Contractor reserves the right to select from specified materials and products, increase quality, or make substitution. The General Contractor will notify the Owner of any changes regarding items set forth in this specification.

Delivery, storage and handling will be coordinated by the General Contractor in a customary and safe manner for the various products required for the performance of the Work and in accordance with federal, state or local regulations.

01650 Facility Start-up

The General Contractor will provide the required systems, demonstrations and start-up for the performance of the Work. Systems demonstrations will be coordinated with the Owner or their representatives. System and equipment demonstrations and training sessions provided by the General Contractor or its subcontractors and suppliers for applicable equipment and systems within the scope of the Project can be for, but not limited to the following.

Mechanical equipment and systems.

Electrical equipment and systems.

Special construction systems.

01700 Project Closeout

Final Cleaning: At project completion, the General Contractor will remove from the site waste materials, rubbish, tools, construction equipment, machinery and surplus materials. The General Contractor and Owner may, upon mutual agreement, store specific surplus materials at the site for future use either by the Owner or the General Contractor. The Project will be cleaned by the General Contractor and accepted by the Owner as suitable for occupancy.

Operations and Maintenance: The General Contractor will provide one copy of the operations and maintenance manual for systems and products provided to the Project following completion.

Warranties: Reference Prime Contract.

Prior to project completion, the General Contractor will explain warranty service procedures to the Owner's designated representative.

End of Division

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DIVISION 2 - SITEWORK

02010 Subsurface Investigation

The Owner has not presented a complete and accurate geotechnical report. Due to settlement issues identified in the front center west quadrant of the administration building. The Design Firm may require further clarification, investigation or analysis by the geotechnical engineer to finalize design solutions or verify feasibility of alternatives. May request an investigation by the geotechnical engineer after receiving the Owner's approval. Costs associated with approved additional geotechnical investigation will be borne by the Owner. The General Contractor or Design Firm is not responsible for the technical accuracy of the geotechnical report provided by the Owner.

02100 Site Preparation

The General Contractor will perform the following site preparation activities.

Clearing and Grubbing: All trees, shrubs, other vegetation and obstructions, except that designated to be saved will be cleared and removed from the site. Material will not be burned unless local ordinances permit and the Owner approves. Vegetation indicated to be saved will be protected from damage during construction.

Strip Topsoil: Topsoil will be stripped from all areas to be disturbed, stockpiled and protected for later use during finish grading and landscaping.

Sediment and Erosion Control: Temporary sediment and erosion control measures will be provided as required by local regulations and site conditions.

02200 Earthwork

Earthwork on the project site, for construction of the new building and the site, will consist of the following activities.

Excavation and Backfill: All reusable material excavated from the building and utilities will be stockpiled on the site, as directed by the General Contractor or as indicated on the Drawings. Material for backfill will be free from loose, soft, frozen and organic material. If the quality of excavated material is in question, it will be inspected before reuse, and material inappropriate for reuse, or excess material will be disposed of properly. Fill material imported to the site will meet the requirements of the geotechnical report or as specified in the Contract Drawings for acceptable fill material. Backfill will be properly placed and compacted. Backfill will not be placed on frozen ground. All slab on grades will be placed over a minimum of two inches of free draining compacted granular fill or more, as recommended by the Design Firm.

Rough Grading and Filling: The site will be rough graded within contract limits to conform to final profiles and contours as will be shown on the Prime Contract site plan. Rough grades and fill will be within 5 inches of final grades. Proper drainage will be maintained during construction. Fill material, its placement and compaction, will be in Compliance with the specifications and the recommendations in the geotechnical report. Excess cut or excavated material will be removed from the site for proper disposal.

2-1

Finish Grading: Topsoil previously stockpiled for reuse will be spread over lawn and planting areas to a minimum depth of 4 inches and graded to the finish site grades. Excess topsoil will be disposed of on the project site or removed from the site and disposed of properly. If required,

additional topsoil of equal or better quality than that found on the project site will be imported to complete the work.

Sediment and Erosion Control: Sediment and erosion control measures will be installed in accordance with local regulations, to minimize erosion and run-off during construction.

Termite Control: Soil treatment for control of termites will be provided under the area of the building and around the building perimeter. Or a termite baiting station system will be provided around the building perimeter.

02520 Site Concrete

Site concrete will be installed over a base course consisting of a minimum of 4 inches of approved granular material, uniformly compacted to 95 percent Standard Proctor.

Concrete Paving: Concrete for pavement will have a minimum compressive strength of 4000 PSI at 28 days, with 5 to 7 percent air entrainment. Concrete reinforcement will be as specified in Section 03200. Concrete pavement including concrete and reinforcing will be installed per the geotechnical report's recommendations, local ordinances and zoning regulations and as specified on the Construction Drawings. Formed or saw cut control joints will be installed in all concrete paving at approximately 10 foot centers. Expansion joints will be installed at approximately 30 foot centers and where concrete abuts other construction. Expansion joints will consist of 1/2 inch preformed joint filler. All concrete pavement will receive a light broom finish, except incline surfaces will receive a medium broom finish.

Handicap Ramps: Concrete for handicap ramps will have a minimum compressive strength of 3000 PSI at 28 days, with 5 to 7 percent air entrainment. Formed or saw cut control joints will be installed at 5 feet on center, minimum. Expansion joints will be installed at approximately 30 feet on center and where concrete abuts vertical surfaces or other materials. Expansion joints will consist of 1/2" preformed joint filler. Handicap ramps will receive a medium boomed surface finish in compliance with the Americans with Disabilities Act (ADA).

Concrete Walks: Concrete for walks will have a minimum compressive strength of 3000 PSI at 28 days, with 5 to 7 percent air entrainment. Formed or saw cut control joints will be installed at 5 feet on center, minimum. Expansion joints will be installed at approximately 20 feet on center and where concrete abuts vertical surfaces or other materials. Expansion joints will consist of 1/2" preformed joint filler. Walks will receive a fine broom finish, except incline surfaces will receive a medium broom finish.

Curb: Concrete for upright rectangular curb will have a minimum compressive strength of 3000 PSI at 28 days, with 5 to 7 percent air entrainment. Curb will be the type indicated on the Contract Drawings or as required by local regulations. Control joints will be formed at approximately 10 foot centers. Expansion joints will be formed at approximately 40 feet on center and where concrete abuts vertical surfaces or other materials. Expansion joints will consist of 1/2" preformed joint filler. Curbs and curb and gutter will receive a light broom finish.

2-2

02800 Site Improvements

The General Contractor will provide site improvements including, but not limited to, the following.

Pavement Markings: Painted pavement markings will be provided as shown on the site Contract Drawings and as required by regulations. Painted pavement markings may include parking stall lines, handicapped stall symbols, curb restriction designations traffic arrows, traffic symbols and lane lines. Paint will be a durable, non-bleeding white traffic paint.

Exterior Signage: An allowance is included in the Prime Contract to provide exterior signage, including building identification, and traffic control signs as reviewed and approved by the Owner.

Handicap Parking Signs: Handicap parking signs will be provided and installed in the locations shown on the site Contract Drawings.

02810 Irrigation System

An allowance has been included for the complete installation of an underground automatic sprinkler and irrigation system including backflow preventer. Meter for irrigation system to be supplied by the local water utility. Tap fees and connection fees are not included. The Owner is responsible for work done by the local water utility for an underground automatic sprinkler and irrigation system. Refer to Section 01 020, Allowances.

02900 Landscaping

An allowance is included for site landscaping, including sod or seeding, plantings, trees, shrubs, ground cover, mulch, edging and other landscaping and planting accessories.

Design Firm will prepare a landscaping plan and details with recommended selections for review and approval by Owner prior to execution of the applicable Work.

End of Division

2-3

DIVISION 3 - CONCRETE

03100 Concrete Form Work

C5

Concrete formwork materials and accessories include the following.

American Plywood Association APA grade-trademarked B-B Plyform plywood, Class 1, Exterior, and HDO, Class 1, Exterior, for exposed finishes; plywood board, metal, for unexposed finishes; and high tensile carbon steel wire snap ties.

Materials and accessories will conform to the American Concrete Institute specifications ACI 301 and ACI 347.

03200 Concrete Reinforcement

Concrete reinforcement products include the following.

New billet steel bars conforming to ASTM A615 grade 60, ASTM A706, ASTM 616 grade 60 designation SI, or ASTM A617 grade 60.

Welded wire fabric per ASTM A1 85.

Tie wires and spirals per ASTM A82.

Mild steel covered arc-type welding electrodes, AWS A5. I.

Bar supports: CRSI class B pre-galvanized, CRSI class C plastic-protected, and class E, Type 430, stainless steel wire.

03250 Concrete Accessories

Concrete accessories may include the following.

Exposed expansion joint filler conforming to ASTM D175 1.

Polyethylene foam sealed expansion joint filler.

Molded or extruded polystyrene compressible filler.

Preformed control joint strip.

Chamfer strips.

9 gauge galvanized steel wire anchors.

No. 30 plain asphalt saturated felt strip conforming to ASTM D226.

Anchor bolts and embedded plates conforming to ASTM A36 or A307.

Welded headed studs conforming to ASTM A1 08.

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03300 Cast-In-Place Concrete

Cast-in-place concrete materials include: ready-mixed concrete from a constant source that complies with ASTM C94 consisting of the following.

Portland cement, ASTM C150 type I or II; normal weight aggregates, ASTM C33; lightweight aggregates, ASTM C330 and clean, potable water.

Concrete mixes will be in accordance with ACI 318, chapter 5, "Proportioning on the basis of field experience and/or trial mixtures".

28 day strengths according to ASTM C39 will be the following unless otherwise specified.

Footings, pile caps, grade beams, and foundations walls - 3000 psi.

Interior slab-on-grade - 4000 psi.

Slumps and compressive strengths will be tested in accordance with ASTM C143 and ASTM C39, respectively. Mixes will be subject to review and approval by the Project Engineer and the Design-Builder's testing agency.

End of Division

3-2

DIVISION 4 - MASONRY

04100 Mortar and Masonry Grout

Mortar and masonry grout are of the type and strength required for the application, and as required by local code and indicated below. All mortar will be prepared in accordance with ASTM C270, and all masonry grout will be prepared in accordance with ASTM C476.

Mortar types and uses may include, but are not limited to the following:

Mortar for concrete masonry (bearing) will be a Type M cement-lime conforming to ASTM C2 70.

Mortar for stone masonry (non-bearing) will be Type N cement-lime conforming to ASTM C2 70.

Coarse structural grout for concrete masonry will be a minimum of 2500 psi conforming to ASTM C476

Mortar joints to be exposed will receive a smooth tooled concave finish and are to be free of voids, pinholes, and cracks.

04150 Masonry Accessories

Masonry accessories will be provided as needed for a complete masonry installation. Masonry accessories may include, but are not limited to the following:

Horizontal Reinforcing: Horizontal joint reinforcing is truss type ASTM A82, fabricated from Class 3 mill galvanized cold drawn steel wire. Minimum No. 9 gauge wire for side and cross rods.

Reinforcing Bars: Deformed steel bars conforming with ASTM A 615, Grade 60. Size and length per structural requirements.

Veneer Ties: Ties for use with metal stud wall panels are mill galvanized, adjustable type with 3/16 inch diameter vee ties.

Base (Thru-Wall) Flashing: Flexible sheet flashing.

Pre-molded Joint Filler: Types and sizes as indicated on drawings.

Fasteners: Corrosion resistant, size and type as required for the application.

04200 Unit Masonry

Unit masonry is of the types, sizes and colors as required by the Construction Drawings. Special shapes will be as detailed on the Construction Drawings.

Hollow or Solid Concrete Masonry Load Bearing Units: Solid concrete masonry units conforming with ASTM C45 or ASTM C90 (as applicable), ASTM C33 or ASTM C331 (as applicable), Grade N, Type 1, normal weight or lightweight, size, type, and special shapes as indicated on the Drawings

End of Division

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DIVISION 5 - METALS

05100 Structural Metal Framing

Structural metal framing will be of the size and type shown on the Construction Drawings and shop drawings.

Steel W shapes per ASTM A572.

Channels, angles, bars, rods and plates per ASTM A36.

Steel tubing per ASTM A500 Grade B.

Steel pipe per ASTM A53 Grade B.

Joist open web girders with top and bottom cords per ASTM A572 and webs per ASTM A36.

All bolts for structural steel connections per ASTM A325.

Type E70YX electrodes for all field welds.

05200 Metal Joists

Steel joists will be K Series conforming to the Steel Joist Institute (SJI) requirements. Bridging will be structural steel per ASTM A36. All bolts for joist connections to structural steel will be 1/2 inch diameter per ASTM A325.

05300 Metal Decking

Roof decking will be 1 1/2" by 20 gauge primed wide rib metal deck conforming to the Steel Deck Institute (SDI) standards.

Steel deck fastening will be per SDI, installed directly on supporting steel members, with end laps and side over laps, bearing pans for roof drains, and pour stops.

05500 Metal Fabrications

Metal fabrications may include ladders and other metal assemblies.

Metal fabrications will be assembled from the following materials.

Steel plate for cold-forming ASTM A-36 and ASTM A283 Grade C.

Steel sheet for cold-forming ASTM A569.

Steel tubing ASTM A500 Grade B and ASTM A513.

Exposed to view assemblies will be smooth, free of surface blemishes and finished as specified.

End of Division

5-1

DIVISION 6 - WOOD AND PLASTICS

06050 Fasteners and Adhesives

Fasteners and adhesives including all nails, spikes, screws, bolts, adhesives and similar items will be of types and sizes sufficient to draw and rigidly secure members for which they are used. Fasteners are galvanized or corrosion resistant at exterior locations and at all treated wood applications.

06110 Wood Framing

Wood for nailers, blocking, furring, sleepers and other miscellaneous boards is construction grade per WWPA, S4S, dried to 19 percent maximum moisture content. Pressure preservative treated wood will be used when material is in contact with flashing, waterproofing, masonry, concrete, or the ground.

06200 Finish Carpentry

Interior finish carpentry materials may include lumber miscellaneous trim.

Wood Trim for Staining.- Red Oak and Inland Red Cedar, premium grade and in accordance with AWI grading standards, sizes and shapes as required. Other species will be premium grade and sizes as required.

Fastening materials may include nails, wood screws, bolts and nuts, toggle bolts, expansion items, adhesive and glues, and other fastening devices required to firmly secure the Work of this section.

06310 Preservative Treatment

Wood will be pressure-impregnated in accordance with the manufacturer's published instructions and the moisture content after treatment will be 19 percent for lumber and 15 percent for plywood. Water borne preservatives will be "Wolmanized" as manufactured by Koppers Company, Inc.; "K-33" as manufactured by Osmose Wood Preserving Company, Inc., "Dixie CCA" as manufactured by Hoover Treated Wood Products, Inc.; or approved equal.

06410 Architectural Casework

Architectural casework will be fabricated complying with AWI, Section 400 requirements for laminated-clad cabinets. Cabinet will be flush overlay construction and Grade Premium. Architectural casework.

Particleboard will be 45 pound per cubic foot density, industrial grade M-2. Hardboard will be 65 pound per cubic foot density.

High pressure laminate for exposed cabinetry surfaces will be vertical grade GP-28, with 0.030 inch nominal thickness as defined by NEMA - LD3. High pressure laminate for countertop surfaces will be horizontal grade GP-50, with 0.050 inch nominal thickness as defined by NEMA - LD3. Melamine laminate will be as tested in accordance with NEMA - LD3. Edging will be rigid polyvinyl chloride (PVC), .5 millimeter and 1.4 millimeter thick.

6-1

Hinges, slides, pulls, shelf supports, cam studs and lock connectors, and keyed 5 pin cylinder locks will be included as required.

High Pressure Laminate for Countertop Surfaces will be Formica brand (or equal) Horizontal Grade GP-50, with 0.050 inch nominal thickness as defined by NEMA - LD3 horizontal surfacing

grade. Product will be adhered to 3/4 inch substrate with thermosetting water based multi-bond adhesive, under 200 PSI at no more than 200 degree Fahrenheit.

End of Division

6-2

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

07190 Vapor Retarder

Vapor retarder will be applied to the conditioned building envelope.

07210 Batt Insulation

Batt insulation will be a light density glass fiber batt insulation and is manufactured by Owens-Coming Fiberglass. Equivalent materials by CertainTeed, Schuller International, or approved equal are acceptable.

Batt insulation may include the following.

Unfaced, friction fit, batt type, per ASTM C665 Type I.

Accessories may include wire mesh support fabric, impaling pins, foil type joint tape and polystyrene vent baffles.

Batt insulation may be part of a constructed system that provides an approximate thermal value of R-19 at the exterior walls.

07222 Roof Insulation - Expanded Polystyrene

Roof insulation will be expanded polystyrene (EPS) conforming to ASTM C578, Type VIII. Insulation thickness will be as indicated on the Drawings or as required to achieve the roof assembly combined average R-value.

Roof insulation may be part of a constructed system that provides an approximate thermal value of R-38 on conditioned areas and R8 on unconditioned areas at the roof.

07530 Thermoplastic Membrane Roofing

Thermoplastic membrane roofing system consists of a TYPE ASTM D6878 thermoplastic polyolefin (TPO) 60 mil thick non-reinforced membrane installed over approved roof substrate and insulation and secured in accordance with roofing manufactures written installation instructions. Roofing system complies with the requirements for a UL Class A fire resistance rating.

TPO membrane roofing system will be warranted for 20 years NDL and 2 year maintenance.

Additional materials and accessories required for a complete roofing installation are provided or approved by the roofing system manufacturer.

07620 Sheet Metal Flashing

Materials will be galvanized steel, aluminum, stainless steel, or copper. Galvanized steel and aluminum flashing and trim exposed to view are factory finished with polyvinylidene fluoride based with resin to contain a minimum of 70 percent PVDF. Flashing hidden from view will be unpainted, unless noted otherwise.

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Sheet metal flashing and trim items will be provided, including scuppers, reglet and counter-flashing.

07710 Stops and Copings

Gravel stops and copings will be a system of fascia or coping covers, trim, flashings, and fasteners to form a weather tight exterior roof edge fascia or coping. Covers are cold formed of 24 gauge steel conforming to ASTM A446. Cover finish is a factory applied polyvinylidene fluoride based with resin to contain a minimum of 70 percent PVDF. Products will be by Metal-Era, or an approved equal.

Flashing and trim will be the same material, thickness, finish, and color as the metal covers.

07720 Roof Hatch

Prefabricated roof hatch with integral insulated curb will be minimum 22 gauge steel with 1 inch fiberglass insulation and curb will be minimum 14 gage steel with 1 inch rigid fiberboard insulation and integral cap flashing. Finish is red oxide factory primer for field finish painting. Model "S" as manufactured by Bilco Company, (2'-6" x 3'-0" opening) or approved equal.

07920 Sealants and Caulking

Sealants, caulking, backer materials, gaskets, and accessories will be provided as required for the specific application. Materials may include, but are not limited to the following.

Interior acoustical sealant will be highly elastic, water-based, non-hardening, non-drying, Non-bleeding or staining conforming to ASTM 919. Sealant will be "Sheetrock Acoustical Sealant" as manufactured by United States Gypsum Company; or approved equal.

Interior (wet area - sanitary) sealant will be one-part acetoxycure silicone conforming with ASTM C920, Type S, Grade NS, Class 25, Use NT, G, A, and 0. Color will be as indicated on the Drawings. Sealant will be "Proglaze", as manufactured by Tremco Inc.; or approved equal.

Interior and exterior floor joint sealant will be multi-component self levelling or slope grade polyurethane conforming with ASTM C 920, Type M, Grade P, Class 25, Use T, M, A, and 0. Self levelling sealant will be "THC-900" and slope grade sealant will be "THC-901" as manufactured by Tremco Inc.; or approved equal.

Exterior door/window perimeter sealant will be low modulus, one-component, moisture curing, modified polyurethane conforming with ASTM C920, Type S, Grade 25, Use NT, M, A, and 0. Color will be as indicated on the Drawings. Sealant will be "DyMeric 511", as manufactured by Tremco Inc.; or approved equal.

Exterior joint sealant will be low modulus, multi-component, oligomeric polyurethane conforming with ASTM C 920, Type M, Grade NS, Class 25, Use NT, M, A, and 0. Color will be as indicated on the Drawings. Sealant will be "DYmeric 511" as manufactured by Tremco Inc.; or approved equal.

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Exterior glazing sealant will be medium modulus, moisture curing, one part silicone conforming with ASTM C 920, Type S, Grade NS, Class 25, Use NT, M, G, and A. Sealant will be "Spectrem 2" as manufactured by Tremco Inc.; or approved equal.

Structural silicone sealant will be one-part, moisture curing, structural, silicone elastomeric conforming with ASTM C 920, Type S, Grade NS, Class 25, Use NT, M, G, A, and 0. Sealant will be "795" as manufactured by Dow Corning Corporation; or approved equal.

Primer will be as produced by or recommended by the sealant manufacturer for the specific substrates, sealant and application.

Backer Rod will be open cell polyurethane foam, as produced by or recommended by the sealant manufacturer. Backer rod will be tested and certified compatible with the sealant and substrate.

End of Division

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DIVISION 8 - DOORS AND WINDOWS

08110 Steel Doors and Frames

Doors and frames will comply with AMSI/SDI 100. Steel doors and frames will be as manufactured by Steelcraft; or approved equal.

Exterior steel doors will be Grade II, heavy-duty Model 1, full flush (F) construction, fabricated from 18 gauge cold-rolled steel conforming with ASTM A366, stiffened and sound deadened.

Exterior and interior flush frames will be formed from 16 gauge cold-rolled steel. Interior drywall frames will be formed from 16 gauge cold-rolled steel, three piece knock-down construction.

Doors and frames will be prepared for finish hardware and have a rust-inhibitive primer finish.

08210 Wood and Plastic Doors

Doors will comply with A I.S.1 -A and AWI standards for grade of door, core, construction, finish, and other requirements.

Particle board core doors will be constructed of particleboard cores and hardwood rails, with faces finished with random matching patterns of high pressure laminate and painted vertical edges. Bevel lock edge 1/8 inch per 2 inch thickness. Doors will be factory machined for hardware as indicated on the Drawings. Provide UL labeling for 20 minute fire-rated applications, as required.

08410 Aluminum Entrances and Storefront

Aluminum entrance doors will be stile and rail type, 1 3/4 inch thick, narrow stile type for doors 3 feet and less in width. Doors greater than 3 feet wide are medium stile type. All joints reinforced and mechanically fastened. Framing system is extruded 6063-T5 aluminum alloy units.

Aluminum entrance doors will be manufactured by Kawneer Company, Wausau Window and Wall Systems, or approved equal.

Metal finishes will be color anodized.

Fasteners exposed to weather will be stainless steel or aluminum, other fasteners are zinc-plated steel. Weatherstripping is a closed-cell extruded neoprene sponge continuous compression type. Hinges, pivots, overhead concealed closers, stops, thresholds, deadlocks, cylinder-keyed locksets, push/pull bars or panic hardware and pull bar will be included as required.

08520 Fixed Aluminum Windows

Aluminum windows will be fabricated of extruded 6063-T5 aluminum alloy and 5005-H34 aluminum sheets with thermal break construction. Refer to Section 08800 for glass and glazing. Metal finishes will be color anodized.

Aluminum windows will be manufactured by Wausau Window and Wall Systems; Kawneer Company; EFCO Corporation; or approved equal.

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08710 Door Hardware

Standard door hardware may include the following.

Butt Hinges: Exterior: Brass/steel, ball-bearing, 4 1/2 x 4 with non-removable pin, Hager. Interior: Steel, ball-bearing 4 1/2 x 4 with removable pin, Hager. Interior: Steel, adjustable spring hinge, 4 1/2 x 4, McKinney or approved equal.

Pivot Hinges: Offset type, #180 top, #M19 intermediate, #147 bottom steel, Rixonor approved equal.

Mortise Locksets: Stainless steel lever type, #8200, Sargent or approved equal. (LNH lever with 2 inch rose.)

Cylinders: Satin stainless steel bronze oil-rubbed, mortise/rim #34 and #40 Series, Sargent or approved equal.

Panic Devices: Satin stainless steel, #80 Series, Sargent or approved equal.

Overhead Surface Closers: Exterior: Super smoothee #4040 EDA, LCN. Interior:smoothee #41 10 Series, LCN or approved equal.

Flush Bolts: Extension flush bolts, LTL listed for wood and steel doors, flush bolts for standard wood doors, Ives or approved equal.

Floor Bumpers/Wall Bumpers: Floor: 3/4 inch high #1213ES Series, Trimco. Wall: concave rubber #W1272 1/4 CCS, Trimco. Countertop: convex rubber #1275 WS, Trimco. Exterior Floor: 2 3/8 inch high #1233 Series, Trimco. (or approved equal)

Automatic Door Bottom: Mortised-type for 2-0, 3-0, and 3-6 doors, Reese.(or approved equal) (3-0 is LTL approved.)

Head and Jamb Gaskets: Vinyl adhesive back weather-strip, Steelcraft.(or approved equal)

Thresholds: 1/2 x 2 1/2 #S249A half saddle, aluminum and 1/2 x 4 #S4LA full saddle, Reese. .(or approved equal)

Keys and Keying: Six-pin LA keyway, Sargent. .(or approved equal)

08800 Glass and Glazing

Manufacturers: PPG Industries, Libby-Owens-Ford Co., or approved equal. Glass products may include the following.

Annealed Float Glass: Clear float glass will be Type 1, Class I, Quality Q3. Tinted/heat absorbing float glass will be Type 1, Class 2, Quality Q3, Style B. Both will conform to ASTM C1036.

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Mirror Glass (Interior Mirrors): Mirror glass will be Type I, Class 1, Quality Q1 up to 24 square feet and Quality Q2 over 25 square feet, conforming to ASTM C1036, with silver then copper backing and protective painted coating.

Heat Treated Glass: Heat treated glass will be manufactured in vertical tempered ovens from float glass (precut to proper size). Glass will be Type I, conforming to ASTM C 1 048, other attributes as required by the conditions or as indicated on the Drawings. Heat strengthened glass will be

Kind HS and at least 2 times initial strength. Full tempered glass will be Kind FT and 4 to 5 times initial strength.

Laminated Glass: Laminated glass will be fabricated with two layers of float glass and the standard heat-plus-pressure process utilizing laminating plastic sheets/film, Category II Safety Glass, conforming to ASTM C1172, other attributes as required by the conditions or as indicated on the Drawings. Adhesive laminating film will be 0.03 inch minimum thickness.

Insulated Glass: Insulating glass will be parallel glass sheets with air space between panes hermetically sealed at the periphery with a dual seal process, Class C, conforming to ASTM E774, other attributes as required by the conditions or as indicated on the Drawings. When low emissivity radiant heat reflective coating is indicated on the Drawings, the coating will be on an interior surface.

Lead Glass: Refer to Section 13090 Radiation Shielding.

Glazing Materials: Glazing materials will be one-part silicone rubber sealant, molded resilient neoprene gaskets, PVC gaskets, butyl and foam glazing tapes, expanded polyethylene joint filler, neoprene or silicone setting blocks and spacers, and mirror mastic. Glazing materials that are used in a structurally glazed window or curtainwall system will be tested for compatibility with other material, including window unit edge seals, that they come in contact with.

End of Division

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DIVISION 9 - FINISHES

09100 Non-Load Bearing Framing Systems

Light gauge cold-formed metal framing consists of 20 and 25 gauge galvanized steel studs and runners, 24 gauge metal angles, 16 gauge cold-rolled steel carrying and furring channels, 8 gauge

galvanized tie wire and power driven screws and fasteners. United States Gypsum Company; or approved equal.

09120 Suspended Lay-In Ceiling Grid - Steel

Materials for grid system include main runners (ASTM C635), main cross tees, cross tees, angle molding; all steel with 15/16 inch flanges. W molding will have 15/16 inch flanges and 1/2 inch inner angle. Finish is electro-galvanized, bonderized, high-baked paint on all exposed surfaces. Wire is 12 gauge galvanized, soft tempered, carbon steel wire. Grid system will be "Prelude XL System" as manufactured by Armstrong Contract Interiors; or approved equal.

Provide acoustic/gypsum panel ceiling system and related items as required to complete work as indicated on Drawings and specified herein.

A. 2 x 2 Armstrong tegular edge Cirrus, white

B. 2 x 4 square edge 2-mil stipple finish, white vinyl Gypsum Ceiling Panels by USG for exterior use. To be used in the large dressing toilet room

09250 Gypsum Board

Gypsum board materials may include regular and foil-backed fire rated gypsum board, fire rated gypsum board, water-resistant fire rated gypsum board and pre-decorated fire rated gypsum board. Specifications comply with ASTM numbers C36, C442, C630, and C960. Gold Bond, Georgia Pacific Corporation; United States Gypsum Company; or approved equal.

Other materials include joint tape and ready-mix vinyl type joint compound (ASTM C475), texture (vermiculite aggregate) coating, corrosive protected coated steel 26 gauge metal trim accessories, comer beads, casing beads, pre-decorated plastic trim accessories, foil-backed tape, adhesive (ASTM C557), self-drilling screws (ASTM C1002 or C954) self-tapping type, and ring-shank nails (ASTM C514).

Typical walls and partitions will have a single layer of 5/8" fire rated gypsum wallboard applied over metal studs on each side. All joints will be taped and finished with approved joint finishing compound in a three coat application. Finished wall surface will be appropriate for the application of paint or vinyl wall covering as scheduled. Typical interior partitions will extend a minimum of 6" above the ceiling surface and will be filled with fiberglass insulation to reduce sound transmission.

Sound control for typical walls and partitions, that separate patient areas, will have acoustical semi-rigid insulation boards to span the distance between the top of the partition to the underside

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of the floor or roof structure above to reduce sound transmission.

Sound walls will be constructed similar to typical interior partitions except that the stud framing and gypsum wallboard will extend to the underside of the floor or roof structure above. The wall will be filled with fiberglass batt insulation to reduce sound transmission and will be sealed tightly at top and bottom with acoustic sealant.

09310 Ceramic Tile

Ceramic tile and accessories include standard grade ceramic tile and coved base conforming to ANSI A 1 3 7. 1, as manufactured by Crossville Ceramics; American Olean; or approved equal.

Organic wall adhesive, floor mortar, wall and floor grout as recommended by the manufacture.

09660 Vinyl Composite Tile Flooring

Vinyl composite tile flooring materials include standard "Excelon Vinyl Composite Tile", 1/8 inch thick by 12 inches by 12 inches, as manufactured by Armstrong World Industries, Inc., or approved equal. Accessories include waterproof adhesives. The vinyl material has an NBS smoke rating of 450 or less (ASTM E662) and a critical radiant flux rating of .045 watts per square centimeter or more (ASTM E648), Class I.

09678 Resilient Base and Accessories

Resilient base will be a 4 inch high vinyl coved base. Base will be as manufactured by V.P.I. Vinyl Products, Incorporated; or approved equal. Base is secured to the wall with waterproof adhesive.

Accessories will include carpet step off, carpet reducer, carpet edge bar and others as required. Accessories will be as manufactured by Johnsonite, Inc.; Mercer Products Company, Inc.; Roppe Corporation; or approved equal.

096813 Carpet Tile

Carpet materials include Tile goods with unbond backing.

A. Acceptable Manufacturers - Carpet:

1. Bigelow Commercial Carpet. (www.bigelowcommercial.com)
2. Karastan Contract. (www.karastan.com)
3. Mohawk International (www.mohawkinternational.com)
4. Shaw. (www.shawcontract.com)

End of Division

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09900 Painting

Paint materials include prepared paints and coatings, tinting colors, as manufactured by Sherwin Williams; or approved equal. Penetrating stains as manufactured by Sherwin Williams; or approved equal. Paint materials may include the following.

EXTERIOR:

Steel or Iron

1 coat: 13101 off-white metal primer
2 coats: 70XX Mirrolac, Alkyd Urethane Gloss Enamel.

Cement Plaster and Concrete

a. Base Contract Paint System.

1 coat: No. 2002 Wonderguard flat masonry primer.
2 coats: No. 20XX Wonderguard Flat Acrylic House Paint.

Gypsum ceiling board:

2 coats: 15XX Wonder-Shield acrylic latex.

Wood; Opaque Painted Finish (Doors, Panels and Trim):

1502 Wonder-Shield Flat Acrylic Primer Sealer.
2 coats: 16XX Wonder-Shield satin enamel.

INTERIOR:

Steel or Iron

1 coat: 13101 Rust Penetrating primer
2 coats: 506XX Wonderspeed Flat Acrylic Latex.

Cement Plaster

2 coats: 506XX Wonderspeed Flat Acrylic Latex.

Gypsum Wallboard

1 coat: 50801 Vinyl Primer
2 coats: 506XX Wonderspeed Flat Acrylic Latex.

End of Division

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DIVISION 10 - SPECIALTIES

10440 Interior Signs

Interior signs will have raised characters and raised pictorial symbols with the color contrasting to the base color. Signage design is based upon the requirements of the American with Disabilities Act (ADA).

Other interior signs, where allowed by codes, will be engraved plastic signs, vinyl die cut lettering (for installation on glass or other substrates), and plastic or metal three dimensional lettering, as indicated on the signage schedule.

105113 Metal Lockers

Metal Lockers and Equipment Listed below as shown on the Drawings shall be provided.

Acceptable Manufacturers:

1. Interior Steel Products Co. (www.interior-steel.com)
2. List Industries Inc. (www.listindustries.com)
3. Lyon Workspace Products. (www.lyonworkspace.com)
4. Penco Products, Inc. (www.pencoproducts.com)
5. Republic Storage Systems Co., Inc. (www.republicstorage.com)

10522 Fire Extinguishers, Cabinets, and Accessories

Fire extinguishers are "MP5" multi-purpose dry chemical, fluidized and siliconized monoammonium phosphate powder, 5 pounds nominal capacity, UL rating of 2A- I OB:C, with manufacturer's standard wall mounting bracket. Larsen's Manufacturing Company; or approved equal.

Fire extinguisher cabinets are "ALC2409-R" Cameo Series recessed cabinet with white baked enamel heavy gauge steel box, or "FS-ALC2409-59 Cameo Series (fire-rated) semi-recessed cabinet with white baked enamel heavy gauge steel box. Trim and door are aluminum with vacuum-formed clear acrylic bubble glazing. Larsen's Manufacturing Company; or approved equal.

10655 Accordion Folding Partitions

Accordion folding partitions are top-supported, steel-framed, manually-operated, accordion folding unit without floor track or guide, with internal galvanized steel construction, semi-rigid 5 ply Class A vinyl fabric laminated cover, and steel carrying track with an STC rating of 31. Partition color as indicated on the Construction Drawings. Accordion folding partitions will be "Series 3 1 00 " as manufactured by Hufcor, Inc., or approved equal

10810 Toilet Accessories

Toilet accessories are of matching stainless steel finish and are famished as follows. or approved

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Mirror (1 8"x 36")	McKinney/Parker 190
Toilet Tissue Dispenser (stud wall)	Bobrick B-6677
Paper Towel Dispenser	Bobrick B-262
Paper Towel Disp. (Small)	Bobrick B-2621

Grab Bars

McKinney/Parker 9604

Exposed fasteners will be theft-resistant and finished to match the accessories.

End of Division

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DIVISION 14 - CONVEYING SYSTEMS

A hydraulic elevator and associated equipment will be provided within the interior construction where shown on the contract drawings. Hydraulic elevator will be as manufactured by Otis Elevator, Dover, or approved equal.

End of Division

DIVISION 21– FIRE PROTECTION

A. DESIGN STANDARDS

1. Fire Protection Systems shall be designed and installed in accordance with the requirements of the following codes, standards, and design guides:

- a. 2014 Florida Building Code, 5th Ed. with all amendments.
- b. 2014 Florida Fire Prevention Code, 5th Ed. with all amendments.
- c. NFPA-13 Standard for the Installation of Sprinkler Systems, 2013 edition.

- d. NFPA-14 Standard for the Installation of Standpipe, Private Hydrants and Hose Systems, 2013 edition.
- e. NFPA-20 Standard for the Installation of Stationary Pumps for Fire Protection, 2013 edition.
- f. NFPA-25 Standard for the Inspection, Testing and Maintenance of Water-based Fire Protection Systems, 1998 edition.
- g. NFPA-70 National Electrical Code, 2014 edition.
- h. NFPA-72 National Fire Alarm Code, 2013 edition.
- i. NFPA-101 Life Safety Code, 2015 edition.
- j. NFPA-220 Standard on Types of Building Construction, 2015 edition.
- k. Underwriter's Laboratory Inc. Publications.

B. Automatic Sprinkler System:

1. It is anticipated that the existing sprinkler system will need to be removed, and the building will be provided with a new wet pipe sprinkler system throughout. A new fire water service line will be provided to the building, which will be separate from the domestic water supply; the new line will be equipped with an exterior post indicator valve, a main shut-off valve with supervised tamper switch, a supervised flow switch, a double check backflow preventer, a Siamese fire department connection, and a forward test backflow preventer connection; all valves (except for the backflow preventer test) will include tamper switches that are supervised by the fire alarm control panel. The system will be provided with hydraulic calculations, and maximum water velocities inside the building will be limited to 20 FPS or less. All new, above grade wet pipe fire sprinkler piping within the structures will be Schedule 40 black steel pipe. A flow test has not been performed yet. Underground fire protection piping will be plastic, which does not require cathodic protection. Underground valves will be protected with field applied coatings.
2. Tamper switch and a flow switch wired for annunciation at the main Fire Alarm Control Panel (FACP).

C. AUTOMATIC SPRINKLER PIPING:

1. Interior pipe and fittings: NPS 2 and smaller shall be standard-weight (SCH 30 minimum) steel pipe with threaded ends and cast or malleable-iron threaded fittings with threaded joints; NPS 2-1/2 and larger shall be schedule 10 steel pipe with roll-grooved ends; steel, grooved-end fittings; and grooved joints. All exposed interior piping shall be primed and painted (two coats) with red industrial enamel.
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2. Exterior pipe and fittings (Garage and FDC): NPS 2 and smaller shall be standard-weight (SCH 30 minimum), hot-dipped galvanized steel pipe with threaded ends and cast- or malleable-iron hot-dipped galvanized threaded fittings with threaded joints, all exposed threads shall be treated with galvanizing paint after unions have been made; NPS 2-1/2 and larger shall be schedule 10 hot-dipped galvanized steel pipe with roll-grooved ends; hot-dipped galvanized cast iron grooved-end fittings; and grooved joints. Residential unit sprinkler piping:
3. Residential areas shall use CPVC, ASTM F442 & UL1821, solvent welded pipe, rated at 175 PSIG and made for sprinkler service with SCH 40 CPVC, socket-type fittings made for sprinkler service and listed as such. Blazemaster or equal.

AUTOMATIC SPRINKLER EQUIPMENT AND MATERIALS:

1. Fire-Protection-Service Valves: UL listed and FM approved gate valves for applications where required by NFPA 13 and NFPA 14.
2. Water-Flow Indicators: UL 346; electrical-supervision, vane-type water-flow detector; with 250-psig (1725-kPa) pressure rating; and designed for horizontal or vertical installation. Include two single-pole, double-throw, circuit switches for isolated alarm and auxiliary contacts, 7 A, 125-V ac and 0.25 A, 24-V dc; complete with factory-set, field-adjustable retard element to prevent false signals and tamperproof cover that sends signal if removed. Provide an electric bell on the outside of the building, which will alarm upon indication of flow. Bell shall be powered from the fire alarm system
3. Valve Supervisory Switches: UL 753; electrical; single-pole, double throw; with normally closed contacts. Include design that signals controlled valve is in other than fully open position.
4. Exposed, Freestanding, Fire Department Connections: UL 405, cast-brass body, inlets with threads according to NFPA 1963 and matching local fire department sizes and threads, and bottom outlet with pipe threads. Include brass, lugged caps, gaskets, and brass chains; brass, lugged swivel connection and drop clapper for each hose-connection inlet; 18-inch- (460-mm-) high brass sleeve; and round, floor, brass, escutcheon plate with marking "AUTO SPKR & STANDPIPE."
5. Sprinkler, Drain and Alarm Test Fittings: UL-listed, cast- or ductile-iron body; with threaded inlet and outlet, test valve, and orifice and sight glass.
6. Alarm Check Valves: UL 193, 175-psig working pressure; designed for horizontal or vertical installation, with cast-iron flanged inlet and outlet, bronze grooved seat with O-ring seals, and single-hinge pin and latch design. Include trim sets for bypass, drain, electric sprinkler alarm switch, pressure gages, retarding chamber, and fill-line attachment with strainer.

AUTOMATIC SPRINKLERS:

1. Mechanical Rooms, Electrical Rooms, and Other Unfinished Spaces:
 - a. Standard response, extended coverage upright or pendent sprinkler heads in a rough brass finish with temperature rating of 165°F or more if required.
 - b. Exterior sprinklers or sprinklers in unconditioned spaces shall be Teflon coated to resist corrosion.

Sprinkler Cabinets: Finished, wall-mounting steel cabinet and hinged cover, with space

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for a minimum of six spare sprinklers plus sprinkler wrench. Include the number of sprinklers required by NFPA 13 and wrench for sprinklers. Include separate cabinet with sprinklers and wrench for each type of sprinkler on Project. Mount cabinets on wall in Fire Pump Room.

END OF SECTION

DIVISION 22 – PLUMBING

D. DESIGN STANDARDS:

1. Plumbing systems shall be designed and installed in accordance with the following required codes, standards and design guides.
 - a. 2014 Florida Building Code, 5th Ed. with all amendments.
2014 Florida Plumbing Code, 5th Ed. with all amendments.

2014 Florida Fuel Gas Code, 5th Ed. with all amendments.
2014 Florida Energy Code, 5th Ed. with all amendments.
American Society of Plumbing Engineers (ASPE) Data Books.
2010 Americans with Disabilities Act
Federal Fair Housing Regulations.
Plumbing Drainage Institute (PDI).
Underwriter's Laboratory Inc. Publications for penetrations.
Local Health Department Requirements.

GENERAL INFORMATION:

1. All existing plumbing equipment will be removed. All existing waste and vent piping above the slab will be removed to a minimum of 6" above finished floor, and completely where piping passes through walls and ceilings. All floor penetrations not re-used will be filled and capped prior to remodeling work. All existing floor drains and floor clean outs that are not reused will be removed from the slab and the slab will be repaired to match existing conditions. All existing domestic water piping, insulation, hangers, and associated appurtenances will be removed back to the existing building main shut-off valve. All plumbing related equipment and materials that are demolished will be removed from the site and disposed of in an approved manner.
2. All wall-hung, vitreous china water closets with battery-operated sensor flush valves (1.28 GPF) will be installed in the men's and women's restrooms. Where indicated wall hung water closets will be installed at 17" above finished floor for ADA compliancy. All urinals will be installed. Lavatories will be installed in the restrooms. One (1) new, floor mounted, 24"x36" terrazzo janitor's sink will be installed in the new janitor's closet. Stainless steel, dual-height, electric water coolers will be installed. New 1.5 GPM shower valves and stainless steel shower drains will be installed at the new shower locations. These new showers will be solid surface material bases and walls designed for long lasting service. All new fixtures installed will be of durable construction and low-flow water conserving types, and provide a low maintenance installation.
3. Kitchen sinks shall be stainless steel with chrome faucets as specified by interior design.
4. Water lines to refrigerators for ice maker connection.
5. All water lines to quick closing valves shall be provided with water hammer arrestors.
6. All floor drains/sinks subject to trap evaporation shall be provided with trap primers.
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7. A new, 80 gallon, domestic water, 18 KW electric water heater, expansion tank, and mixing valve station with integral circulator pump will be installed. Domestic water will be stored at 140 deg F to prevent Legionella disease, and circulated throughout the structure at 110 deg F. The new water heater will be installed on a 4" thick concrete housekeeping pad. Recirculating hot water will be provided as required to maintain a maximum 50' from each hot water fixture to a hot water source.
8. An air compressor and compressed air piping will be provided for the Fleet Services Space.

SANITARY, STORM, WASTE AND VENT SYSTEMS:

1. A revised sanitary sewer system will be sized and designed to efficiently carry the building waste. It is anticipated that all new below grade sanitary sewer will be Schedule 40 PVC to match existing conditions, and all above slab and grade sanitary piping will be Schedule 40 PVC pipe with glued joints (above ceiling PVC vent piping will be wrapped with fire retardant). Where required, all new floor drains with adjustable, leveling strainers and trap primer lines will be provided in the restrooms. Where possible, floor drains will be installed to indirectly discharge waste to p-traps of other drains, thus eliminating trap primer valves and below slab trap primer lines. Saw cutting and patching will adhere to all structural design recommendations and details. It is anticipated that the existing sanitary sewer connection (building drain) will be reused.
2. A new grease interceptor, grease sanitary piping, floor sinks, and floor drains will be provided for the Kitchen. Domestic hot (140 deg F) and cold water will be provided at the kitchen.
3. Sanitary waste and vent piping shall be Schedule 40 PVC or DWV Foam Core above and below grade with Schedule 40 solvent welded fittings.
4. Waste from the clothes washers and kitchen sinks shall be via combination waste and vent risers that shall tie into the sanitary waste main verticals located downstream from the lowest living level. These risers shall be manufactured of Schedule 40 PVC or DWV Foam Core above and below grade with Schedule 40 solvent welded fittings.
5. Bathroom-group sanitary waste shall be via Schedule 40 PVC or DWV Foam Core with solvent welded Schedule 40 fittings.
6. All below grade sanitary waste shall be schedule 40 PVC with solvent welded Sch 40 PVC fittings. Bases of stacks and horizontals shall be provided with cleanouts as required by code.
7. All grade and below grade level drains shall be provided with heavy duty floor drains with deep seal traps and backwater valves.

DOMESTIC WATER PIPING:

1. The facility will be provided with a complete, new water distribution system starting at the existing main shut-off to include piping, valves, and piping insulation necessary for a fully functional system. The system will be designed and installed to provide the most efficient, cost effective installation, dependent upon fixture layout and expected building occupant usage. All domestic water piping will be provided with ball type isolation valves at each fixture or group of

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fixtures. Water hammer arrestors will be installed on all branch lines/headers with fixtures requiring fast-acting diaphragm or solenoid actuated valves. All new domestic piping, above grade will be CPVC Plastic pipe, per ASTM D2665, and approved by the National Sanitation Foundation (PVC plastic pipe), flame spread rating of 25 or less, may be used in piping system if approved by state and local codes. PVC joints are solvent-welded and pipe and fittings are self-extinguishing type, tested in accordance with ASTM D635. Plastic pipe will not penetrate fire rated construction, plastic pipe is not permitted in ceiling return air plenums unless properly insulated and approved by state and local codes. Insulation will be provided on all above grade domestic hot water supply. Piping supports for the new system

- will be provided in accordance with Code. Inspections, disinfection, and testing for the new domestic water system will be provided in accordance with Code.
2. A new or recent flow test from the two (2) hydrants nearest to the site will be required to determine the flow or and pressure characteristics of the existing water service.

MISCELLANEOUS:

1. Hangers: For cast iron, provide heavy wrought iron pipe hangers, brackets or clamps at 5' intervals. Fasten with lag screw or with expansion shields as applicable. For water piping, provide adjustable wrought iron copper plated hangers at 6' intervals maximum. Provide hangers to allow for full thickness of insulation.
2. Valves and shutoffs: Full size bronze gate or ball valves for hot and cold water mains, Standard port bronze ball valves for hot and cold water branches. Provide drainage valves on mains. Provide backflow preventers and crossover protection. Provide main backflow preventer of reduced pressure principal type if not part of site work; Febco 880 or equal. Provide units by Apollo, Grinnell, Hammond, Milwaukee, Lunkenheimer, or Watts. All valves shall be manufactured in the U.S. Use of imports is prohibited.
3. Conceal piping to the greatest extent practical. Support piping properly based upon the type of piping. Pitch to drain points.
4. Install shutoff valves on each piece of equipment on both hot and cold water supply.
5. Clearly label all valves and components. All piping systems and flow direction shall be clearly labeled with commercial pipe labeling devices.
6. Disinfect water distribution system. Flush and test all systems for proper operation. Adjust system to prevent water hammer.
7. Maintain indicated fire ratings of walls, partitions, ceilings and floors at penetrations. Seal with fire stopping to maintain fire rating.
8. Restore damaged finishes. Clean and protect work from damage.
9. Instruct Owner's personnel in proper operation of systems.

END OF SECTION

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DIVISION 23 – HVAC

E. DESIGN STANDARDS:

Mechanical/HVAC systems shall be designed and installed in accordance with the following required codes, standards and design guides.

- a. 2014 Florida Building Code, 5th Ed. with all amendments.
- b. 2014 Florida Mechanical Code, 5th Ed. with all amendments.
- c. 2014 Florida Energy Code, 5th Ed. with all amendments.

- d. NFPA-90A Standard for the Installation of Air Conditioning and Ventilating Systems, 1999 edition.
- e. NFPA-90B Standard for the Installation of Warm Air Heating and Air Conditioning Systems, 1999 edition.
- f. 2010 Americans with Disabilities Act
- g. Federal Fair Housing Regulations.
- h. ASHRAE Fundamentals, 2013 edition.
- i. Fire, Smoke and Radiation Damper Installation Guide for HVAC systems, 1992 edition.
- j. SMACNA HVAC Duct Construction Standard Metal and Flexible, 1985 edition.
- k. Underwriter's Laboratory Inc. Publications.

DESIGN CONDITIONS:

- 1. Outside Design Conditions
 - a. Summer: 92° F DB, 77° WB
 - b. Winter: 40° F DB

Indoor Design Conditions

- a. Summer: 75° F DB, 50% RH (conditioned spaces only)
- b. Winter: 70° F DB

HVAC SYSTEMS:

- 1. All existing HVAC systems will be removed. All equipment, ductwork, registers, controls, and piping will be removed, openings left in walls will be filled with like-kind materials, and any salvageable equipment will be turned over to the City.
- 2. Cooling for the renovated Administration space, Gym, Sign/Traffic Shop, and Facilities Shop will be provided by new packaged rooftop units. Twelve (12) 10-ton packaged roof-top units will be located above the Administration space, a 7.5 ton unit will be located above the Gym, a 4 ton unit will be located above the Sign/Traffic Shop, and a 7.5 ton unit will be located above the Facilities Shop.
- 3. Heating for the renovated Administration space, Gym, Sign/Traffic Shop, and Facilities Shop will be from electric resistance heaters located within the packaged rooftop units.
- 4. The air handlers will include motorized dampers on the outdoor air inlets, filter racks, cooling coils, heating coils, and constant speed supply fans. The low pressure ductwork will be sized utilizing equal friction methodology for a maximum of 1000 fpm and 0.1" static pressure. Outdoor air intakes will be at least 10 feet

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away from building exhaust.

- 5. Rooftop exhaust fans will be provided for all restrooms, janitor's closets, and locker rooms (~10 qty).
- 6. Fleet Services and Warehouse are to be ventilated only. Sidewall exhaust fans will have the capability to provide 0.75 cfm/sqft. Intake air louvers will have motorized dampers, be located minimum 10 feet from exhaust, and be designed to withstand wind-driven rain.

7. Special exhaust fans and ductwork will be provided for the welding area in Fleet Services, and the Flammable Storage in the Facilities Shop, meeting all applicable code requirements (spark resistant, etc).
8. Any "Communications Room" or similar type room with continuous heat generating equipment will have a dedicated ¾ ton mini-split A/C DX unit. The air handler will be surface mounted and the condenser will be placed outside the building as close as possible to the Communications Room.
9. All refrigerant based cooling systems will utilize R-410A refrigerant, which has an ozone depletion potential of zero.
10. Four-inch thick concrete housekeeping pads will be provided for new floor mounted equipment.
11. Fire dampers with access doors will be provided in duct penetrations through fire walls where required by Code.

OUTSIDE AIR VENTILATION RATES:

1. General: Per ASHRAE 62.1
Intake and exhaust louvers shall be provided where required.

BUILDING SYSTEMS CONTROLS:

1. Building systems controls shall be simplified local controls for all systems via local thermostats for AHU's (Honeywell Vision 8000 with humidity override or equivalent), local switching or thermostats for ventilation fans, local DDC controllers at the outside air units to maintain discharge air temperature and humidity, and control from the fire alarm system for operation fire sprinkler/fire pump systems.

END OF SECTION

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DIVISION 26 & 28 – ELECTRICAL AND FIRE ALARM

F. DESIGN STANDARDS

1. Electrical and Fire Alarm Systems shall be designed and installed in accordance with the requirements of the following codes, standards, and design guides:

- a. 2014 Florida Building Code, 5th edition and all amendments.
- b. NFPA-70 National Electrical Code, 2014 edition.
- c. NFPA-72 National Fire Alarm Code, 2013 edition.
- d. NFPA-101 Life Safety Code, 2015 edition.
- e. Florida Fire Prevention Code, 5th Ed. and all amendments.
- f. Underwriter's Laboratory Inc. Publications.
- g. Local Utility Standards for Electrical Service and Metering Requirements

GENERAL INFORMATION:

NORMAL POWER & LIGHTING

1. Electrical Service Entrance:
 - a. Service shall be 1200 A from a new 208Y/120V, 3-Phase, 4 Wire pad-mounted transformer provided and installed by local power utility.
 - i. Modifications to the existing equipment pad may be required to coordinate with local utility requirements.
 - b. Meter socket enclosure provided by contractor and meter my utility. Current transformers (CT's) shall be installed in the secondary cabinet of the transformer by utility.
 - c. A NEMA 3R, 240V/1200A Rated, 1200A fused heavy duty safety disconnect switch shall serve as the buildings only main source of disconnect.
2. Office Area + Adjacent Spaces:
 - a. A 1200A, MLO, 3-Phase, 4 Wire, NEMA 1 distribution style panel board shall be located in the main electrical room and serve to feed branch panel boards throughout the facility.
 - b. Branch panel boards for lighting, power and equipment branch circuits shall be located in the main electrical room and sized accordingly:
 - i. One 240V, 600A, 3-Phase, 4 Wire, NEMA 1, Minimum 42 Space
 - ii. One 240V, 225A, 3-Phase, 4 Wire, NEMA 1, Minimum 42 Space
 - c. Lighting and Lighting Controls approach shall be the following:
 - i. Energy efficient fluorescent lamping, Minimum 85+CRI, Minimum 3500K and Rapid/Instant start ballasts with minimum ballast factor of 0.9.
 - ii. Lighting controls shall be a combination of dual technology occupancy sensors with manual override and automatic on/off controls via lighting control panel.
 - iii. Indirect/Direct suspended (cable or pendant) throughout Offices, Common Areas, Conference/Meeting rooms and Lounge.
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 - iv. Combination of recessed downlights and industrial style wall fixtures in restrooms.
 - v. Recessed 2x4 fluorescent fixtures with prismatic lens and aluminum trim.
 - vi. Surface mounted industrial fluorescent strip fixtures with wire-guards in the Maintenance and Supplies rooms.
3. Warehouse/Maintenance:

- a. A 225A, MLO, 3-Phase, 4 Wire, NEMA1, Minimum 42 Space branch style panel board shall be located in the warehouse/maintenance area at a designated location and serve to feed lighting, power and equipment branch circuits.
 - b. Lighting and Lighting Controls approach shall be the following:
 - i. Energy efficient fluorescent lamping, Minimum 85+CRI, Minimum 3500K and Rapid/Instant start ballasts with minimum ballast factor of 0.9.
 - ii. Lighting controls shall be a combination of dual technology occupancy sensors with manual override and automatic on/off controls via lighting control panel.
 - iii. Architectural/Industrial style indirect/direct suspended (cable or pendant) throughout.
4. Gym:
- a. A 100A, MLO, 3-Phase, 4 Wire, NEMA1, Minimum 42 Space branch style panel board shall be located in the Gym at a designated location and serve to feed lighting, power and equipment branch circuits.
 - b. Lighting and Lighting Controls approach shall be the following:
 - i. Energy efficient fluorescent lamping, Minimum 85+CRI, Minimum 3500K and Rapid/Instant start ballasts with minimum ballast factor of 0.9.
 - ii. Lighting controls shall be a combination of dual technology occupancy sensors with manual override and automatic on/off controls via lighting control panel.
 - iii. Architectural style indirect/direct suspended (cable or pendant) in the Gym & Vestibule area.
 - iv. Combination of recessed downlights and contemporary style wall fixtures in restrooms.
 - v. Surface mounted industrial fluorescent strip fixtures with wire-guards in the Supplies room.

LIFE SAFETY

- 1. Entire Building:
 - a. Select light fixtures shall be designated as emergency and equipped with emergency ballasts, capable of operating light fixtures for 90 minutes.
 - b. A complete and addressable fire alarm system shall be provided for proper occupant and emergency response notification.

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SYSTEMS TECHNOLOGY (RACEWAY ONLY)

- 1. A minimum 10ft wide by floor-ceiling height plywood backboard painted with gray flame retardant paint shall be installed in the main electrical room to serve as the head-end between the customer and service utilities for CATV and data/voice. This backboard is referred to as the Telecommunications Termination Backboard (TTB).

2. CATV and data/voice outlets shall be provided through-out the facility to support systems operations. Conduit shall be provided from outlet boxes to TTB.

STAND-BY EMERGENCY POWER (ALTERNATE)

1. As an additive alternate cost to the project a stand-by emergency generator shall be provided to support the entire facility in the event of loss of utility power.
 - a. 350kVA, 208Y/120V, 3-Phase, 4 Wire, NEMA 3R diesel generator with 1200A main breaker.
 - i. Generator enclosure shall be that as equivalent to Category 3 rating of the building.
 - ii. Sub-base diesel generator tank shall be sized to accommodate 24 continuous hours of operation at 100% load.
 - b. Two automatic transfer switch, 240V Rated, 250A, 3-Pole.
 - c. Generator Annunciator Panel with conduit and wiring at a designated location in the building.

STANDARDS AND REQUIREMENTS:

1. Materials and installations, as a minimum, shall conform to the latest edition of the national electric code, the latest edition of NFPA, and the latest edition of the local codes and ordinances, including all amendments. Equipment shall be listed with the Underwriters Laboratories, Inc. Quality and workmanship established by drawings and specifications are not to be reduced by the above mentioned codes.
2. Bidders shall visit the site and familiarize themselves with existing conditions and satisfy themselves as to the nature and scope of work. The submission of a bid shall be evidence that such an examination has been made. Later claims for labor, equipment, or materials required, or for difficulties encountered which could have been foreseen had an examination been made, will not be allowed.
3. All work shall be performed by a licensed electrical contractor in a first-class workmanlike manner. The completed system shall be fully operable and acceptance of this system by the engineer/architect shall be a condition of the contract.
4. All work shall be coordinated with other trades to avoid interference with the progress of construction.

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5. Contractor shall guarantee all materials and workmanship free from defects for a period of not less than one (1) year from date of acceptance.
6. Correction of any defects shall be completed without additional charge and shall include replacement or repair of any other phase of the installation which may have been damaged thereby.

7. All required insurance shall be provided for protection against public liability of property damage for the duration of the work.
8. Contractor shall pay for all permits, fees, inspections and testings.
9. All wiring shall be in conduit unless otherwise noted. Minimum wire size shall be #12 AWG, excluding control wiring. All conductors shall be copper with THWN/THHN insulation. Conductors #10 and smaller shall be solid. Conductors #8 and larger shall be stranded.
10. Outlet boxes shall be pressed steel in dry locations, cast alloy with threaded hubs in wet or damp locations, and of special construction for other classified areas. All boxes shall be recessed (flush) in walls or ceilings whenever possible.
11. Disconnect switches shall be hp rated, heavy duty, quick-make, quick-break type. Enclosures shall be as required by NEC and location. Engraved laminated plastic identification plates shall be furnished and installed on all disconnect switches, contactors, and starters.
12. All fuses for safety switches shall be dual element, cartridge type. Fuses shall be manufactured by Bussmann. The contractor shall furnish to the owner one spare fuse for each size and type of fuse installed. Fuses 600 amps and above shall be class I.
13. All general purpose switches and receptacles shall be the product of a single manufacturer. Catalog numbers listed are Leviton. However, comparable devices by Pass & Seymour, Bryant, or Arrow Hart will be accepted. Color of devices and plates shall be dictated by architect/owner. Verify before installation.
14. It is not the intent of these plans to show every minor detail of construction. The contractor is expected to furnish and install all items for a complete electrical system, and provide all necessary devices and components for equipment to be placed in proper working order.
15. A separate, green type THW copper ground conductor shall be run from ground lug of each grounded receptacle to an approved connection inside the enclosing steel outlet box. Device mounting screws shall not be considered an approved ground.

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16. A separate ground conductor shall be installed in every conduit and raceway and securely bonded in an approved grounding terminal at both ends of the run. The grounding conductor shall be sized in accordance with table 250-95 of the NEC. Contractor shall size conduit to accommodate additional conductor.
17. Contractor shall provide circuits and routing of conduits to suit job conditions.

18. Furnish and install disconnect safety switches, wiring, and connections on all mechanical and plumbing equipment. Verify and coordinate with mechanical contractor regarding supply and installation of all required controls.
19. The disconnect switch, fuse sizes, circuit breakers, conduit and wire are to be sized per the manufacturer, and model listed on the mechanical plans. If there is an equal manufacturer, or other manufacturer provided, the mechanical/general contractor shall bear any additional cost incurred if the electric is not equal to specifications.
20. A typewritten circuit index shall be affixed to the inside surface of each panelboard door, clearly indicating area and type of load served by each branch circuit protective device, including spares. Hand printed will not be accepted.
21. Engraved, laminated plastic identification plates shall be furnished and installed on all panels and switchgear. Plates shall be affixed to front of panels, indicating panel name, voltage and amperage.
22. All electrical conductors shall be installed in an approved raceway: EMT, IMC, or rigid galvanized conduit. Maximum number of 120v circuits allowed in a common conduit shall be six (6). The contractor shall strictly conform to the NEC requirements for derating of conductor ampacity and conduit fill. Conduits shall not be installed exposed on roof.
23. Conductors shall be color coded according to NEC.
24. Contractor shall be responsible for sealing all conduit penetrations made through fire rated walls, ceilings, slabs, etc. Penetration seals shall be according to UL assembly standards.
25. Contractor shall provide shop drawing submittals for light fixtures, wiring devices, power distribution and all systems.
26. Contractor shall maintain a complete set of contract drawings at job site with colored markings indicating progress of work. This set of contract drawings shall be separate from and in addition to contractor's construction set. Every unit of equipment, device, conduit and wire shall be marked when installed. Use green to indicate installation as shown on drawings and use red to indicate field changes. Upon completion of work, this set of contract drawings shall be turned over to and become property of the architect.

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27. The owner reserves the right to revise the drawings from time to time to indicate changes in the work. When revised drawings and/or any revisions are issued, the contractor shall evaluate the changes promptly before installation of any item of performance. The contractor shall notify the architect/engineer in writing that the revised drawings involve an addition or deduction of specific amount of value to the contract price. The contractor shall not proceed with the revised work without prior written approval from the architect/engineer.

28. If the electrical contractor has questions, or in their opinion finds omissions or errors on electrical documents, it is their responsibility to bring this to the attention of the electrical engineer/architect/owner immediately. If electrical contractor proceeds with any changes to the contract documents without written prior approval from the electrical engineer/architect/owner, additional compensation shall not be allowed.

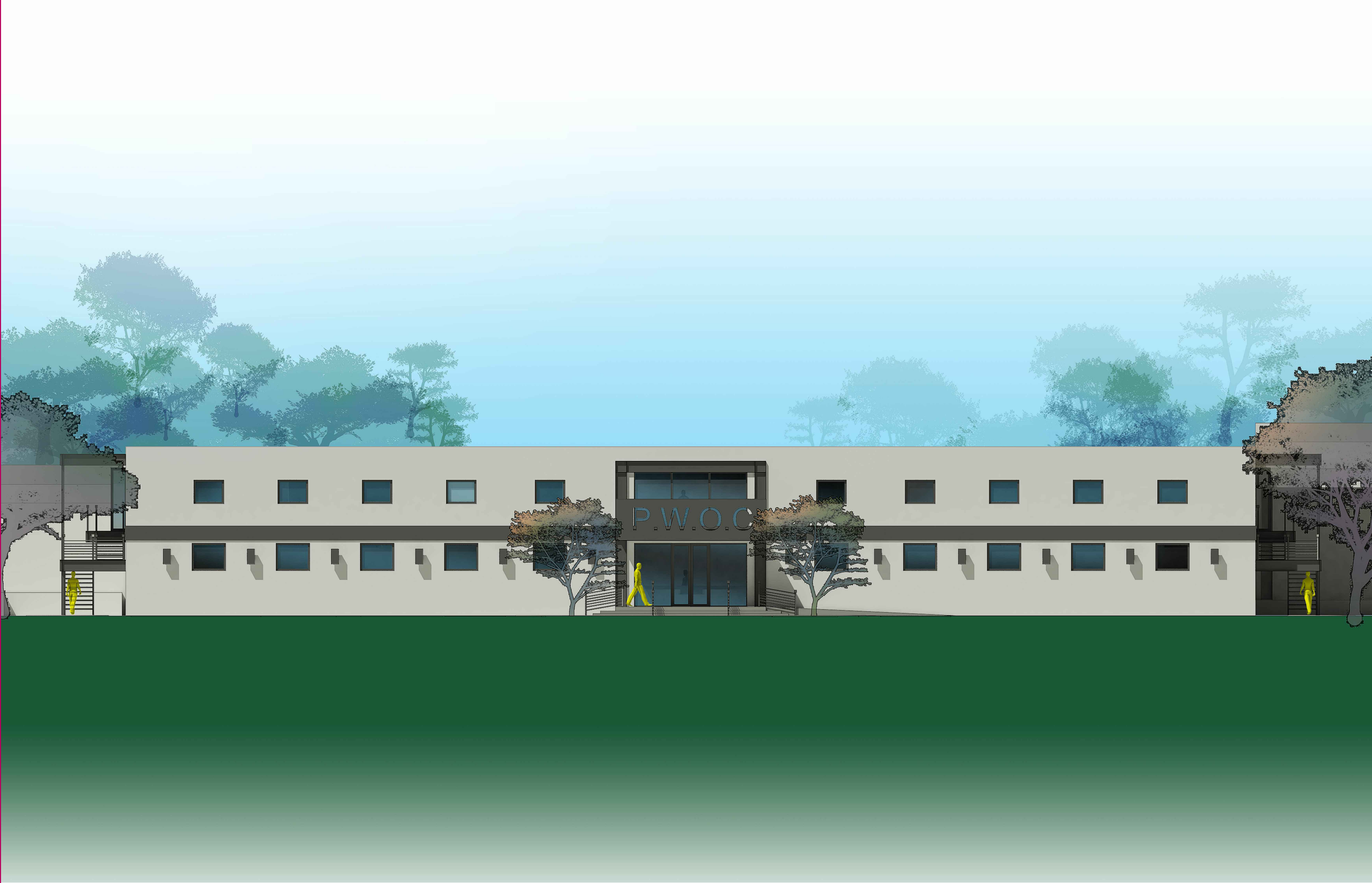
END OF SECTION

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DRAWING INDEX	
SHEET	SHEET TITLE
CS	Cover Sheet
Architectural	
AS001	Architectural Site Plan
A100	Existing Floor Plan and Site Plan
A101	Proposed Floor Plan
A101.1	Enlarged Floor Plan
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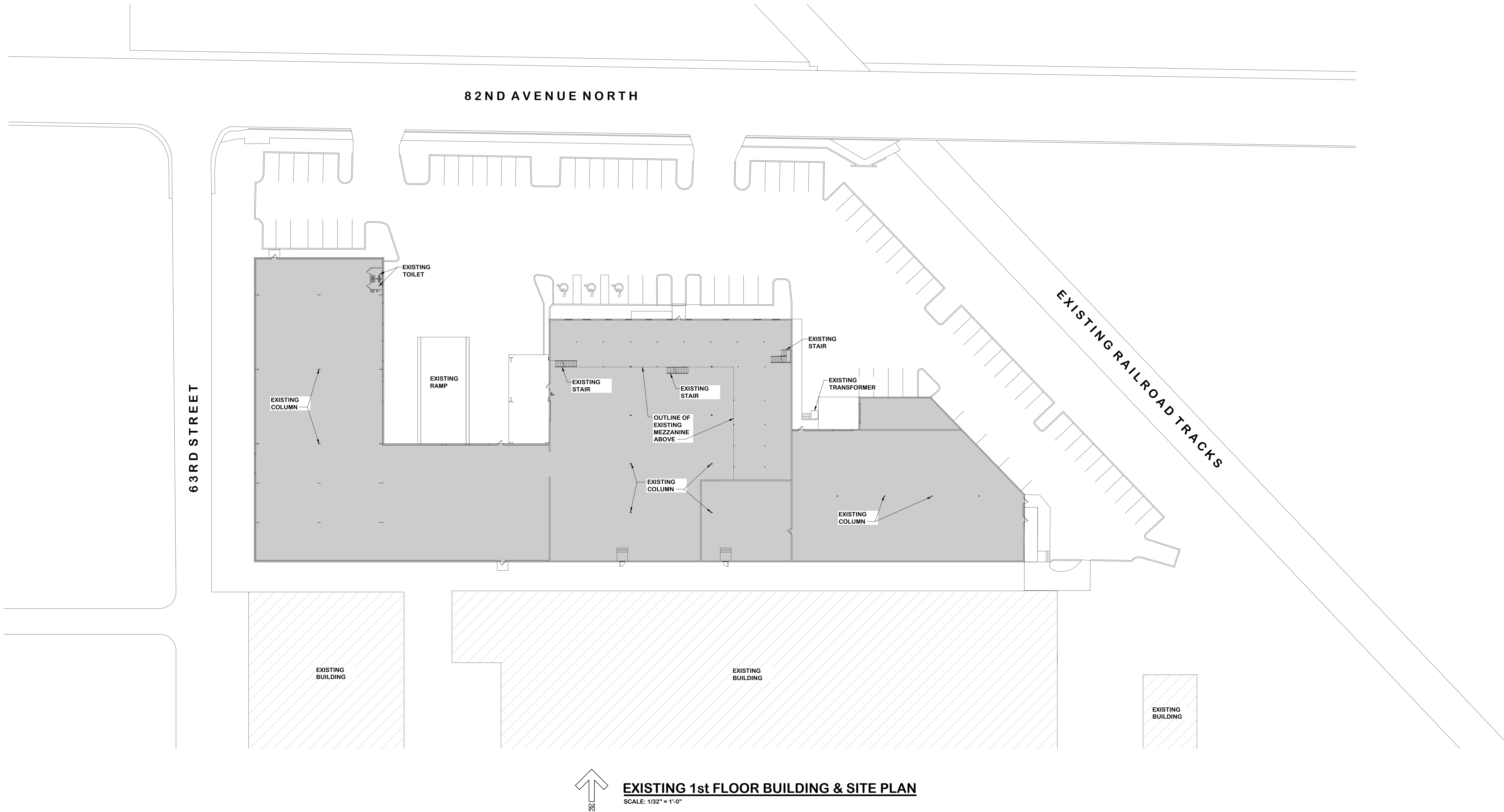
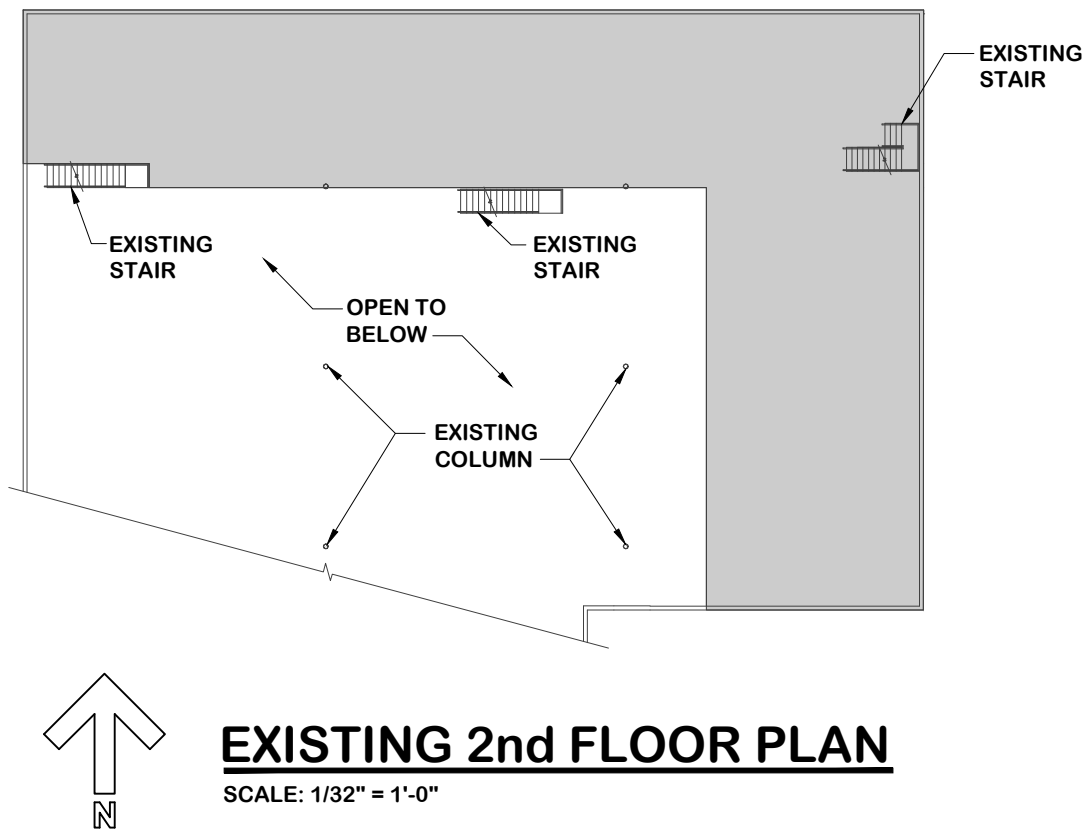


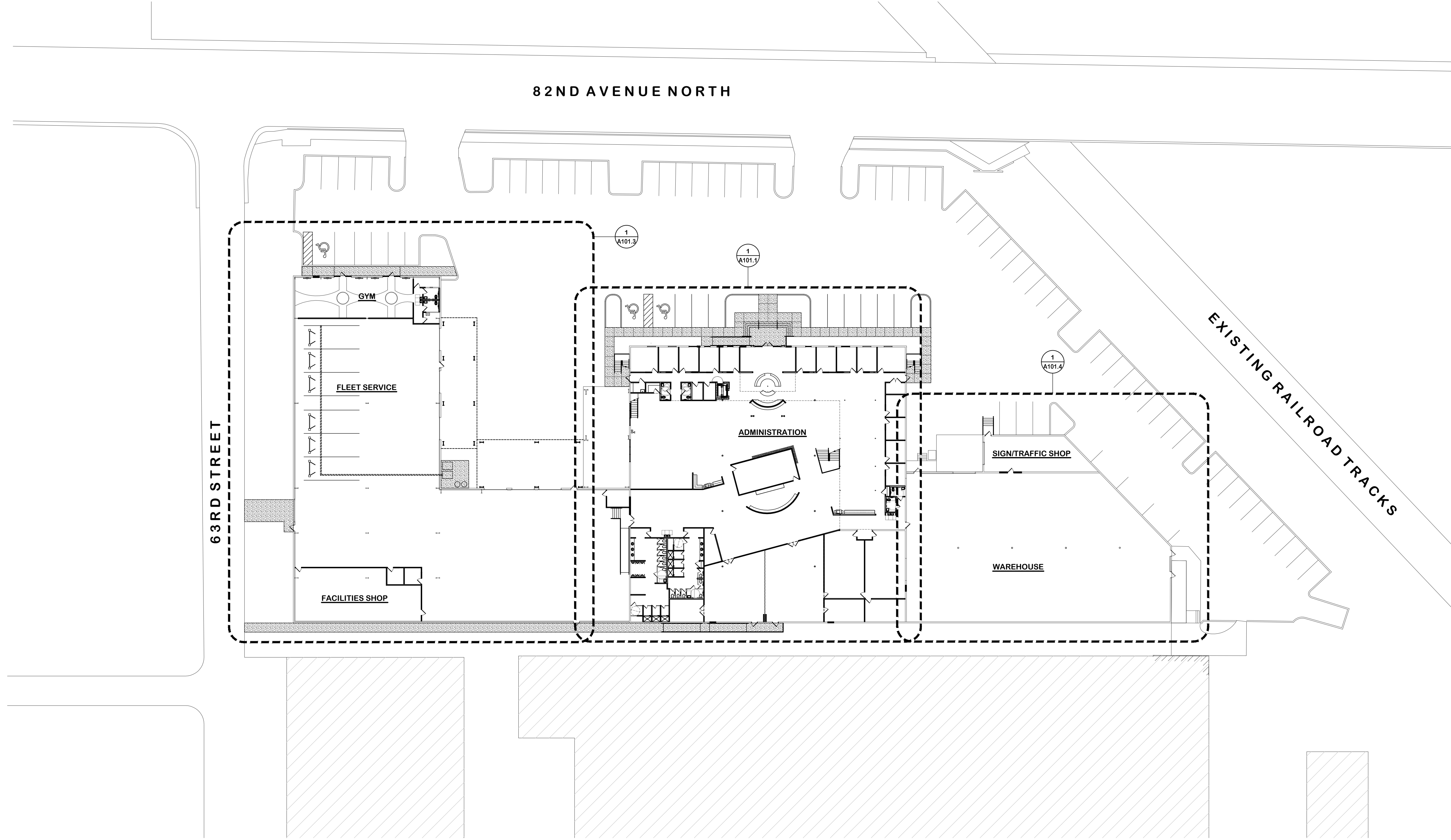
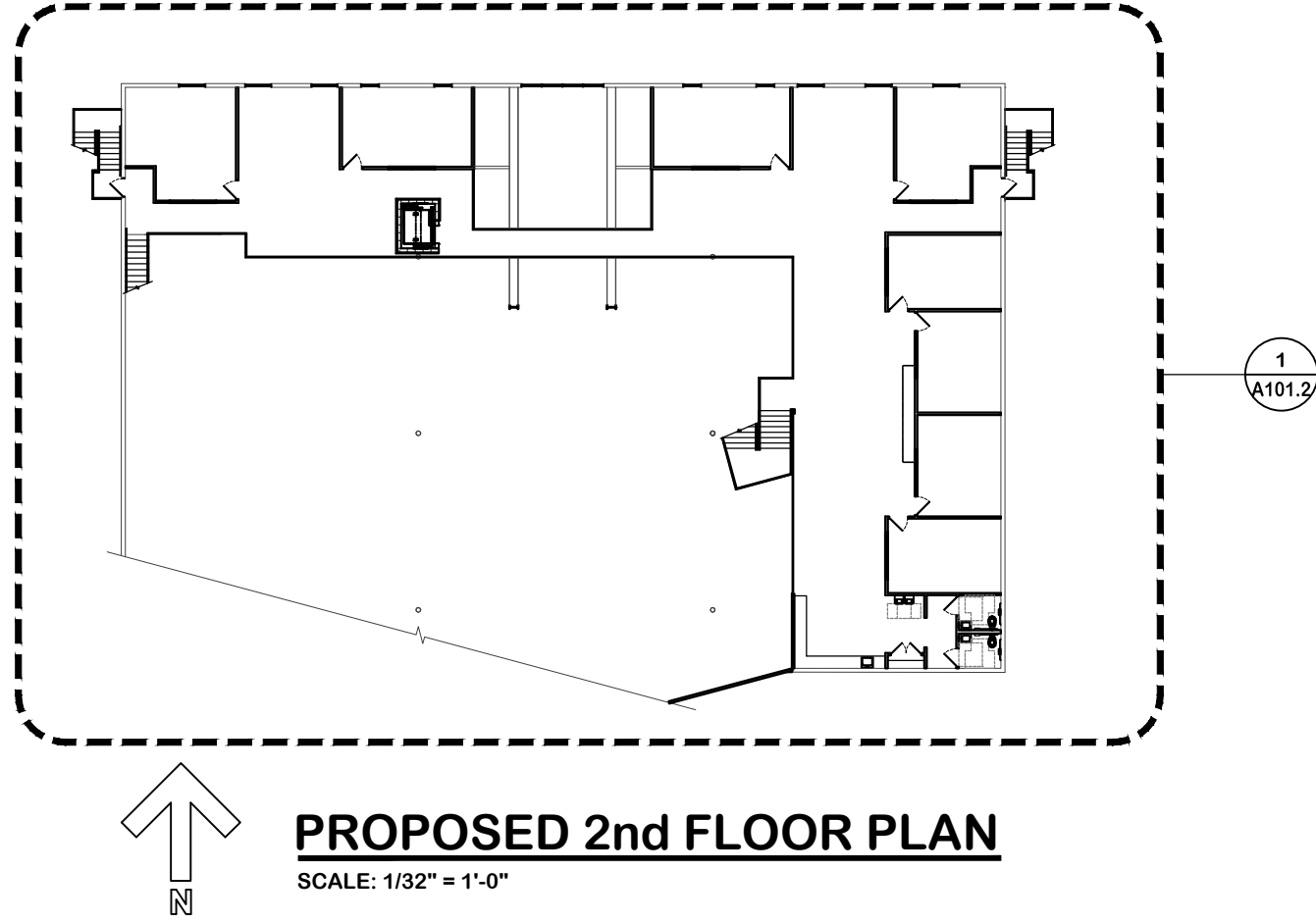
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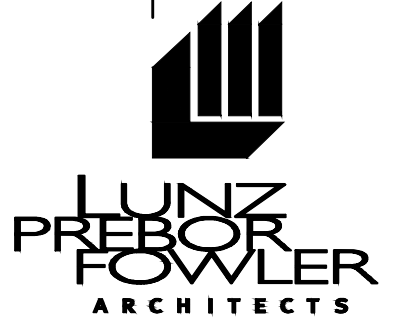
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GENERAL NOTES

1. FLEET SERVICES:
- GYM: NEW STOREFRONT GLASS AND DOORS ON THE NORTH WALL. NEW 6'-0" X 6'-0" WINDOW ON WEST WALL. THIS SPACE IS TO BE A CONDITIONED SPACE WITH A LAY-IN CEILING AT 10'-0"
 - FACILITIES SHOP: THIS SPACE IS TO BE A CONDITIONED SPACE WITH A LAY-IN CEILING AT 10'-0"
 - 6 NEW AUTO LIFTS
 - OIL SEPARATOR, OIL TANK & AIR COMPRESSORS
2. EAST WAREHOUSE:
- MAIN BUILDING: EXISTING ROOF DECK TO BE REMOVED AND REPLACED WITH METAL DECK AND INSULATION. THIS SPACE IS TO BE NON-CONDITIONED WITH AN OPEN CEILING TO ABOVE. EXISTING FLOOR TO BE PATCHED AND SEALED. EXISTING WALLS TO BE PATCHED AND PAINTED.
 - SIGN/TRAFFIC SHOP: EXISTING ROOF DECK TO BE REPAIRED AND PROVIDE NEW INSULATION AND ROOFING. THIS SPACE IS TO BE A CONDITIONED SPACE. THE EXTERIOR WALLS TO HAVE BLOCK SEALED WITH 1" RIGID INSULATION AND 1-5/8" METAL STUDS WITH 5/8" G.W.B. TO ROOF. EXISTING EXTERIOR WALLS TO BE PATCHED AND PAINTED.
3. ADMINISTRATION BUILDING:
- EXTERIOR: EXISTING ROOF DECK TO BE REMOVED AND REPLACED WITH METAL DECK AND RIGID INSULATION. NEW ENTRY CANOPY WITH NEW LANDING, ADA RAMP AND STEPS WITH RAILINGS. PATCH AND PAINT EXTERIOR. REPLACE ALL EXISTING WINDOWS, PROVIDE NEW WINDOWS AT 2ND FLOOR AND ADDITIONAL ON 1ST FLOOR. PROVIDE NEW 20'-0" WIDE, 2 STORY GLASS ENTRY. PROVIDE 2 NEW METAL EXTERIOR STAIRS TO BE ADDED TO THE EAST AND WEST END OF THE BUILDING.
 - INTERIOR: NEW MACHINE ROOMLESS ELEVATOR. PROVIDE 2 NEW STAIRS. EXISTING CONCRETE FLOOR IS TO BE PATCHED GROUND SMOOTH WITH A 2 COAT GRANULATED EPOXY FINISH. WALLS TO BE PAINTED WITH A FLAT LATEX. TOILET ROOM WALLS TO HAVE A 2 COAT EPOXY FINISH. 1ST FLOOR OFFICES, CONFERENCE ROOMS AND MEETING ROOMS TO HAVE CARPET TILE. WALLS TO BE 3-5/8" METAL STUDS TO FLOOR OR ROOF DECK. CEILINGS TO BE EXPOSED TO STRUCTURE ABOVE EXCEPT FOR IN MEETING ROOMS, LOUNGE, LOCKER ROOMS, MAINTENANCE AND STORAGE AREAS. MEZZANINE TO BE CARPET TILE. ALL OF THIS SPACE IS TO BE A CONDITIONED SPACE.
- LIGHTING:
- FLEET SERVICES: LAY-IN INDIRECT LIGHTS IN ALL LAY-IN CEILINGS. INDUSTRIAL TYPE FIXTURES IN OPEN SPACES
 - EAST WAREHOUSE: INDUSTRIAL TYPE FIXTURES IN OPEN SPACES
 - ADMINISTRATION BUILDING: LAY-IN INDIRECT LIGHTS IN ALL LAY-IN CEILINGS. INDUSTRIAL TYPE FIXTURES IN OPEN SPACES



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PROPOSED FLOOR PLAN

REVISION A
REVISION B
REVISION C

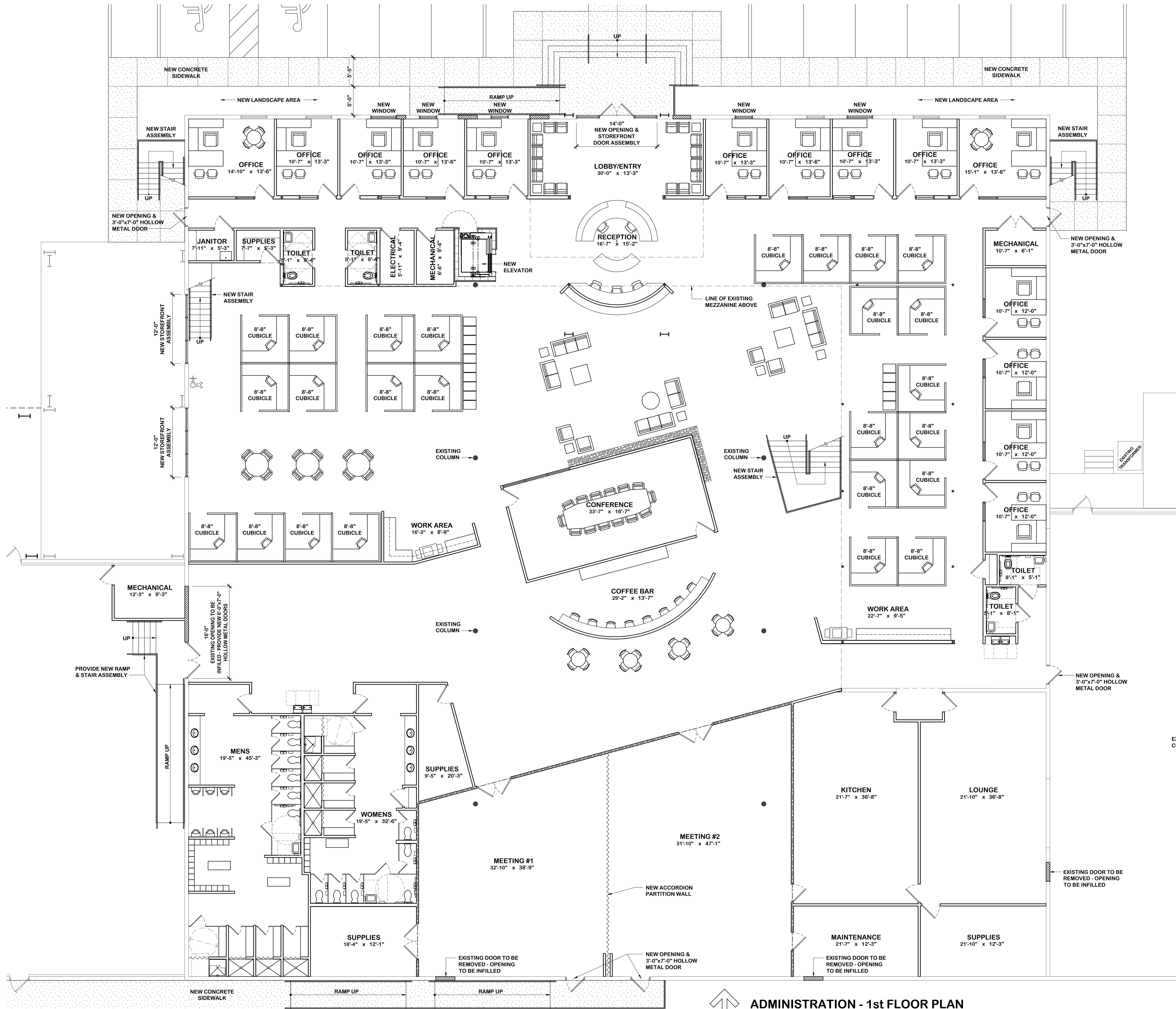
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A101



ADMINISTRATION - 1st FLOOR PLAN
SCALE: 1/8" = 1'-0"

1. ALL BUILDINGS TO MEET THE CATEGORY 3 HURRICANE REQUIREMENTS.
- REMOVE AND REPLACE EXISTING ROOF DECK WITH NEW 1-1/2" 20 GAUGE ROOF DECK AND NEW ROOF MEMBRANE. DECK TO BE WELDED (5/8" PUDDLE WELDS OR #12 SCREWS) AT A 36/7-4 SCREW PATTERN
 - ADDITIONAL JOIST BRIDGING WILL BE REQUIRED TO RESIST CURRENT WIND UPLIFT FORCES. TYPICALLY THIS WILL OCCUR AT FIRST LOWER PANEL POINT ON BOTH ENDS OF ALL ROOF JOISTS.
2. EXISTING EXTERIOR CMU WALLS WILL REQUIRE NEW REINFORCING BAR TO BE ADDED AND GROUTED INTO EXISTING WALLS AT A MAXIMUM OF 4'-0" O.C. THE REBAR WILL NEED TO BE DRILLED AND EPOXIED INTO THE FOOTING AND EXISTING TIE-BEAMS. THE WALLS THAT ARE BRACED BY THE 2ND FLOOR CAN BE REINFORCED AT 4'-0" O.C. FOR THE FULL HEIGHT OF THE WALL.
3. THE 2-STORY CMU WALLS WILL REQUIRE REINFORCING AT APPROX. 2'-0" O.C.
4. THE PRE-ENGINEERED METAL BUILDING STRUCTURE APPEARS TO HAVE BEEN BUILT IN 2008 AND THEREFORE SHOULD NOT HAVE TO BE RETROFITTED TO MEET THE 130MPH WIND SPEEDS, BUT THIS WILL NEED TO BE VERIFIED ONCE DEMOLITION BEGINS.



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ENLARGED FLOOR PLAN

REVISION A
REVISION B
REVISION C

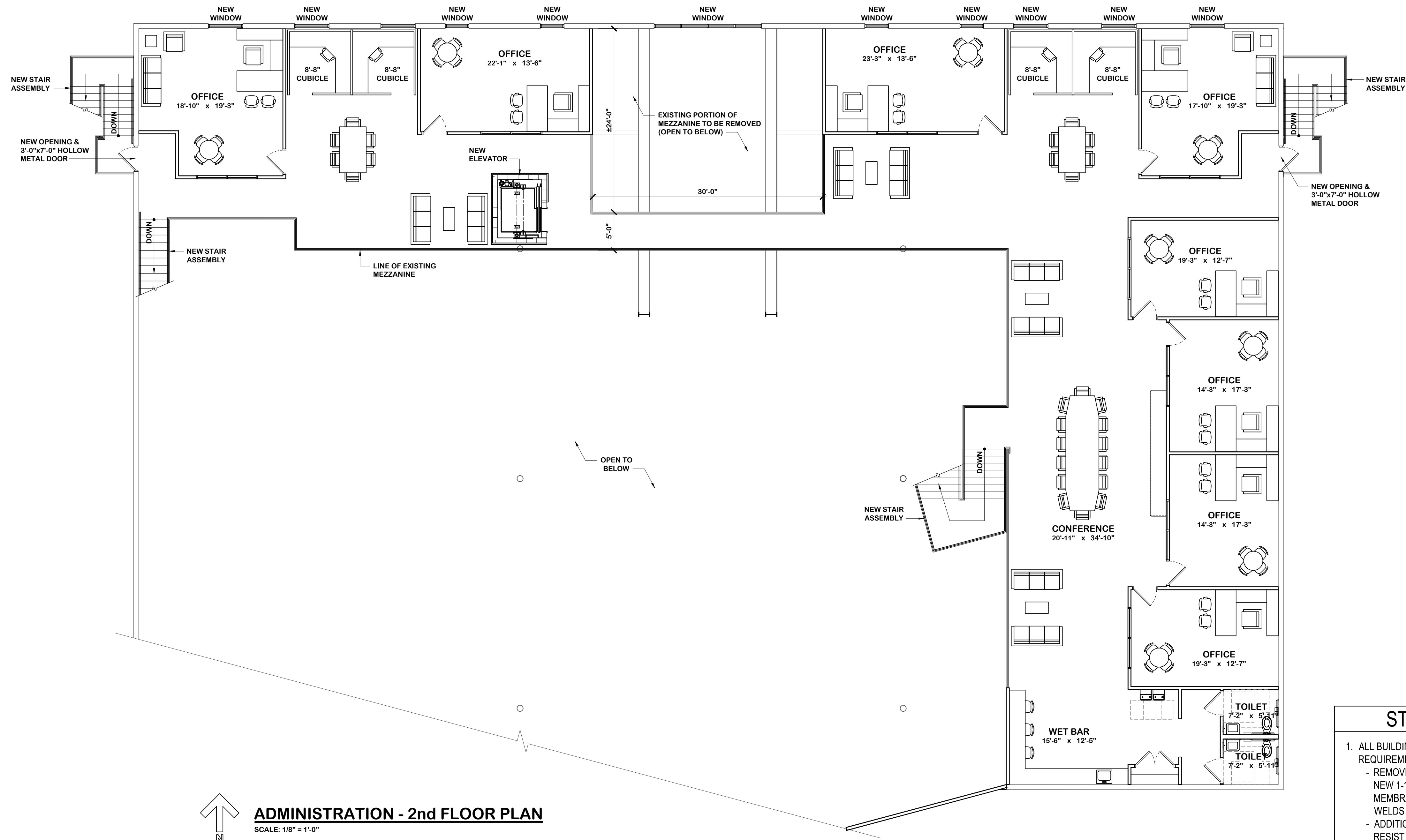
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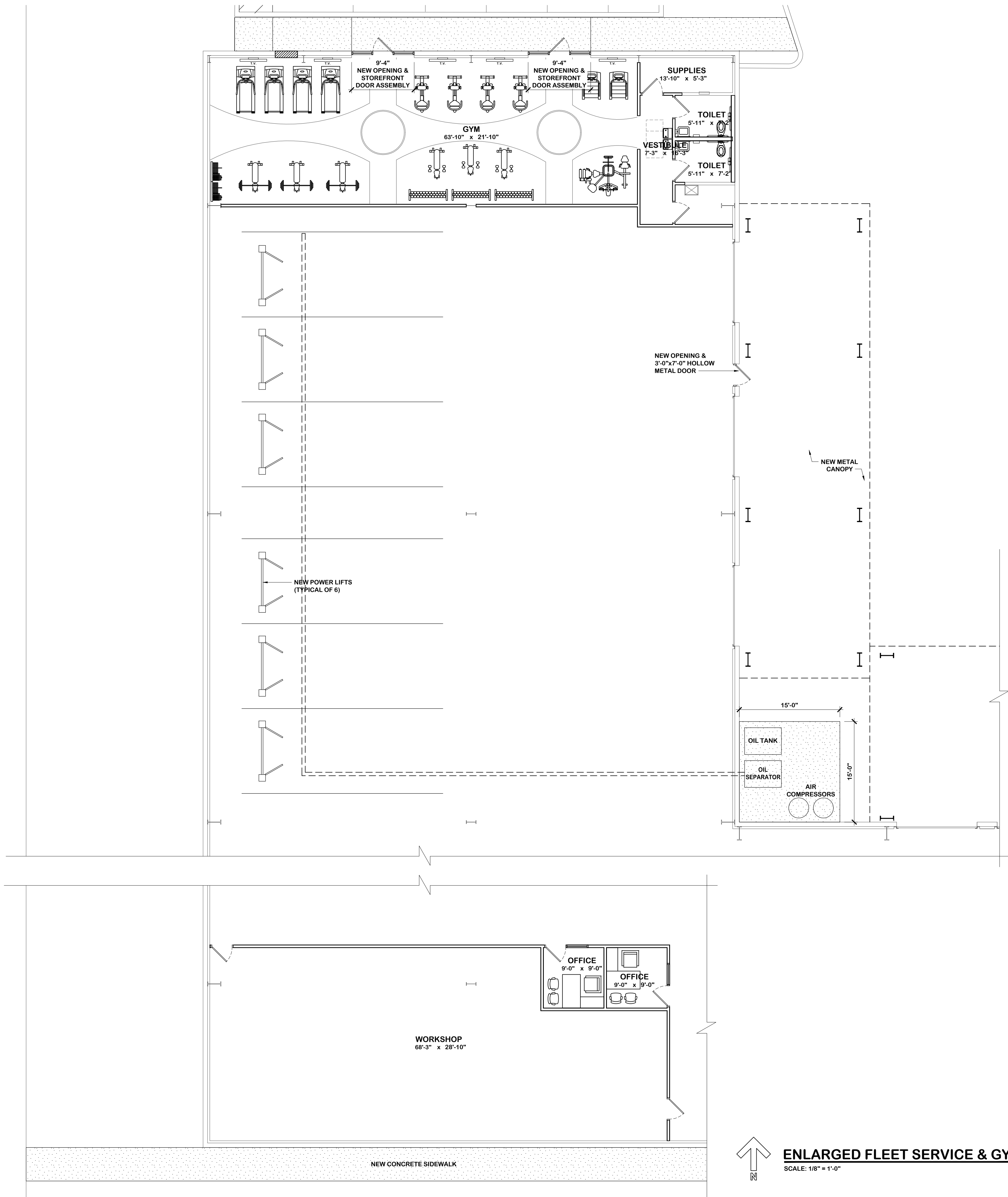
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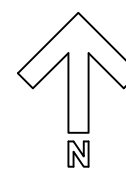
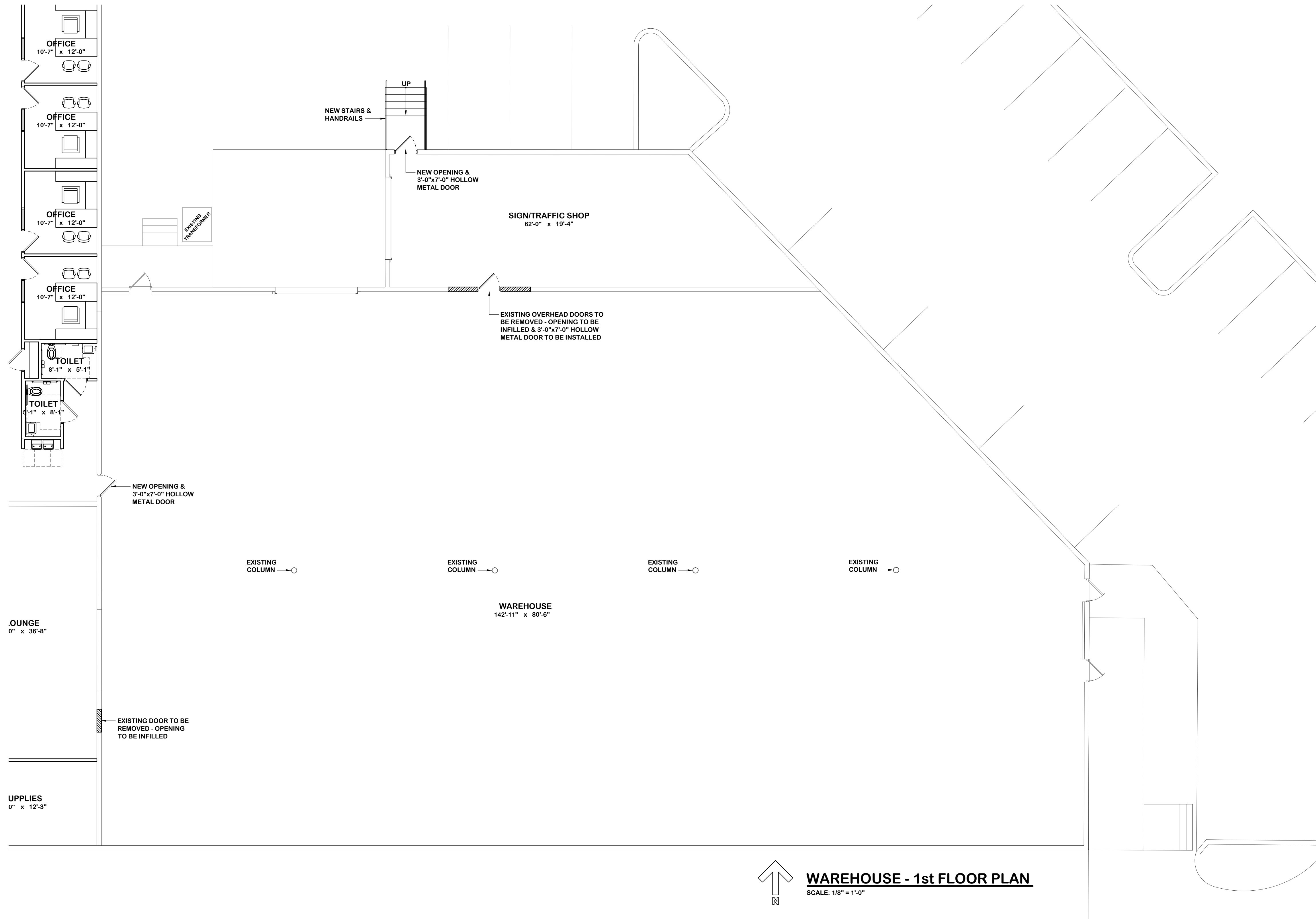


ADMINISTRATION - 2nd FLOOR PLAN
SCALE: 1/8" = 1'-0"

STRUCTURAL NOTES

1. ALL BUILDINGS TO MEET THE CATEGORY 3 HURRICANE REQUIREMENTS.
 - REMOVE AND REPLACE EXISTING ROOF DECK WITH NEW 1-1/2" 20 GAUGE ROOF DECK AND NEW ROOF MEMBRANE. DECK TO BE WELDED (5/8" PUDDLE WELDS OR #12 SCREWS) AT A 36/7-4 SCREW PATTERN
 - ADDITIONAL JOIST BRIDGING WILL BE REQUIRED TO RESIST CURRENT WIND UPLIFT FORCES. TYPICALLY THIS WILL OCCUR AT FIRST LOWER PANEL POINT ON BOTH ENDS OF ALL ROOF JOISTS.
2. EXISTING EXTERIOR CMU WALLS WILL REQUIRE NEW REINFORCING BAR TO BE ADDED AND GROUTED INTO EXISTING WALLS AT A MAXIMUM OF 4'-0" O.C. THE REBAR WILL NEED TO BE DRILLED AND EPOXIED INTO THE FOOTING AND EXISTING TIE-BEAMS. THE WALLS THAT ARE BRACED BY THE 2ND FLOOR CAN BE REINFORCED AT 4'-0" O.C. FOR THE FULL HEIGHT OF THE WALL.
3. THE 2-STORY CMU WALLS WILL REQUIRE REINFORCING AT APPROX. 2'-0" O.C.
4. THE PRE-ENGINEERED METAL BUILDING STRUCTURE APPEARS TO HAVE BEEN BUILT IN 2008 AND THEREFORE SHOULD NOT HAVE TO BE RETROFITTED TO MEET THE 130MPH WIND SPEEDS, BUT THIS WILL NEED TO BE VERIFIED ONCE DEMOLITION BEGINS.

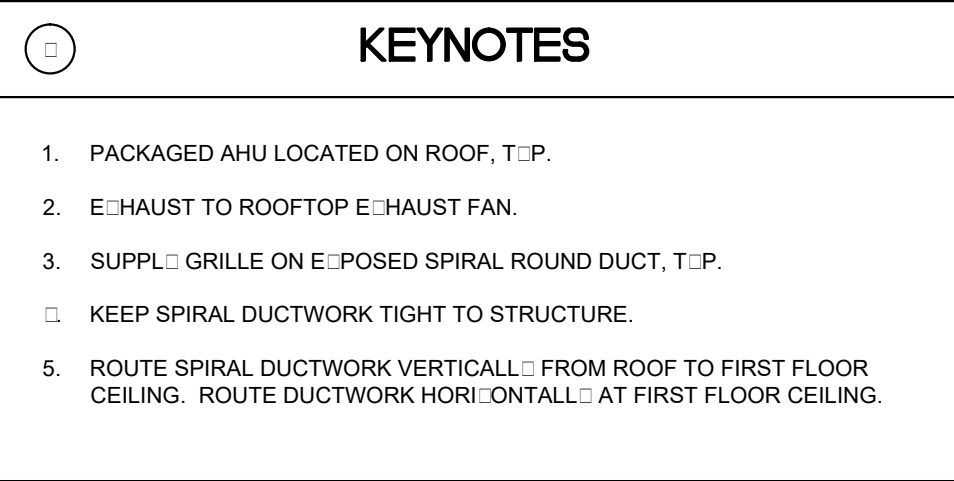




WAREHOUSE - 1st FLOOR PLAN
SCALE: 1/8" = 1'-0"

STRUCTURAL NOTES

1. ALL BUILDINGS TO MEET THE CATEGORY 3 HURRICANE REQUIREMENTS.
 - REMOVE AND REPLACE EXISTING ROOF DECK WITH NEW 1-1/2" 20 GAUGE ROOF DECK AND NEW ROOF MEMBRANE. DECK TO BE WELDED (5/8" PUDDLE WELDS OR #12 SCREWS) AT A 36/7-4 SCREW PATTERN
 - ADDITIONAL JOIST BRIDGING WILL BE REQUIRED TO RESIST CURRENT WIND UPLIFT FORCES. TYPICALLY THIS WILL OCCUR AT FIRST LOWER PANEL POINT ON BOTH ENDS OF ALL ROOF JOISTS.
2. THE PRE-ENGINEERED METAL BUILDING STRUCTURE APPEARS TO HAVE BEEN BUILT IN 2008 AND THEREFORE SHOULD NOT HAVE TO BE RETROFITTED TO MEET THE 130MPH WIND SPEEDS, BUT THIS WILL NEED TO BE VERIFIED ONCE DEMOLITION BEGINS.



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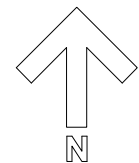
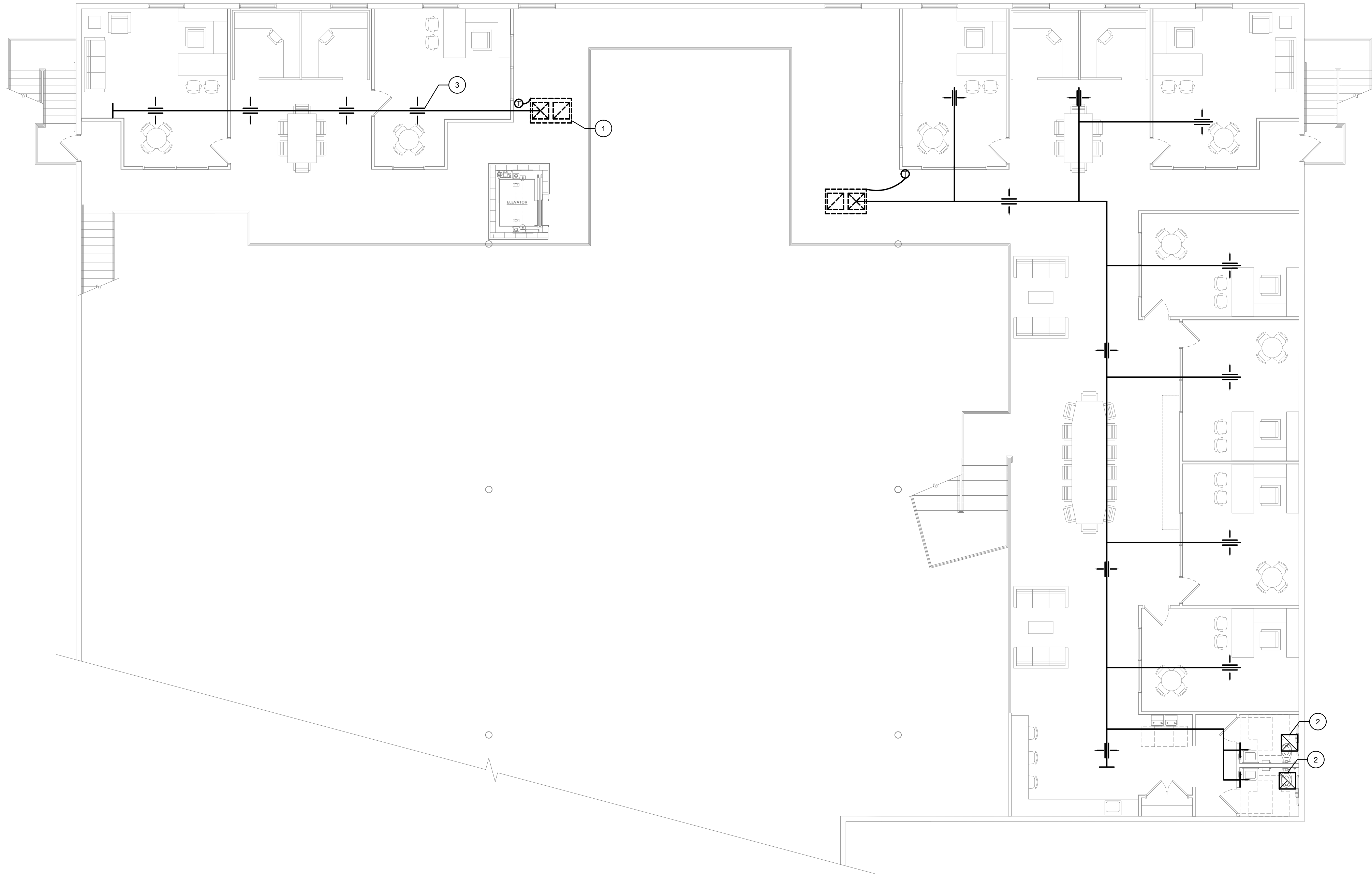
MECHANICAL OFFICE FIRST FLOOR PLAN

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MECHANICAL OFFICE SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEYNOTES
1. PACKAGED AHU LOCATED ON ROOF, T.P.
2. EXHAUST TO ROOFTOP EXHAUST FAN.
3. SUPPLY GRILLE ON EXPOSED SPIRAL ROUND DUCT, T.P.

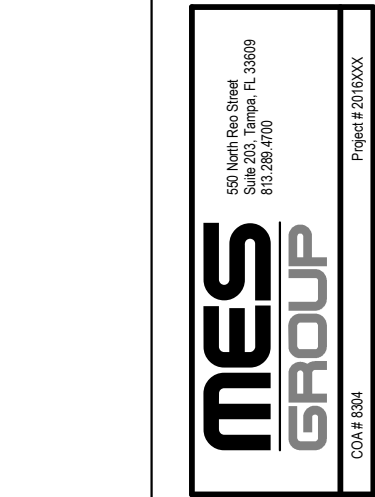
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MECHANICAL OFFICE SECOND FLOOR PLAN

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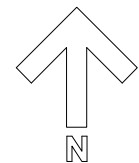
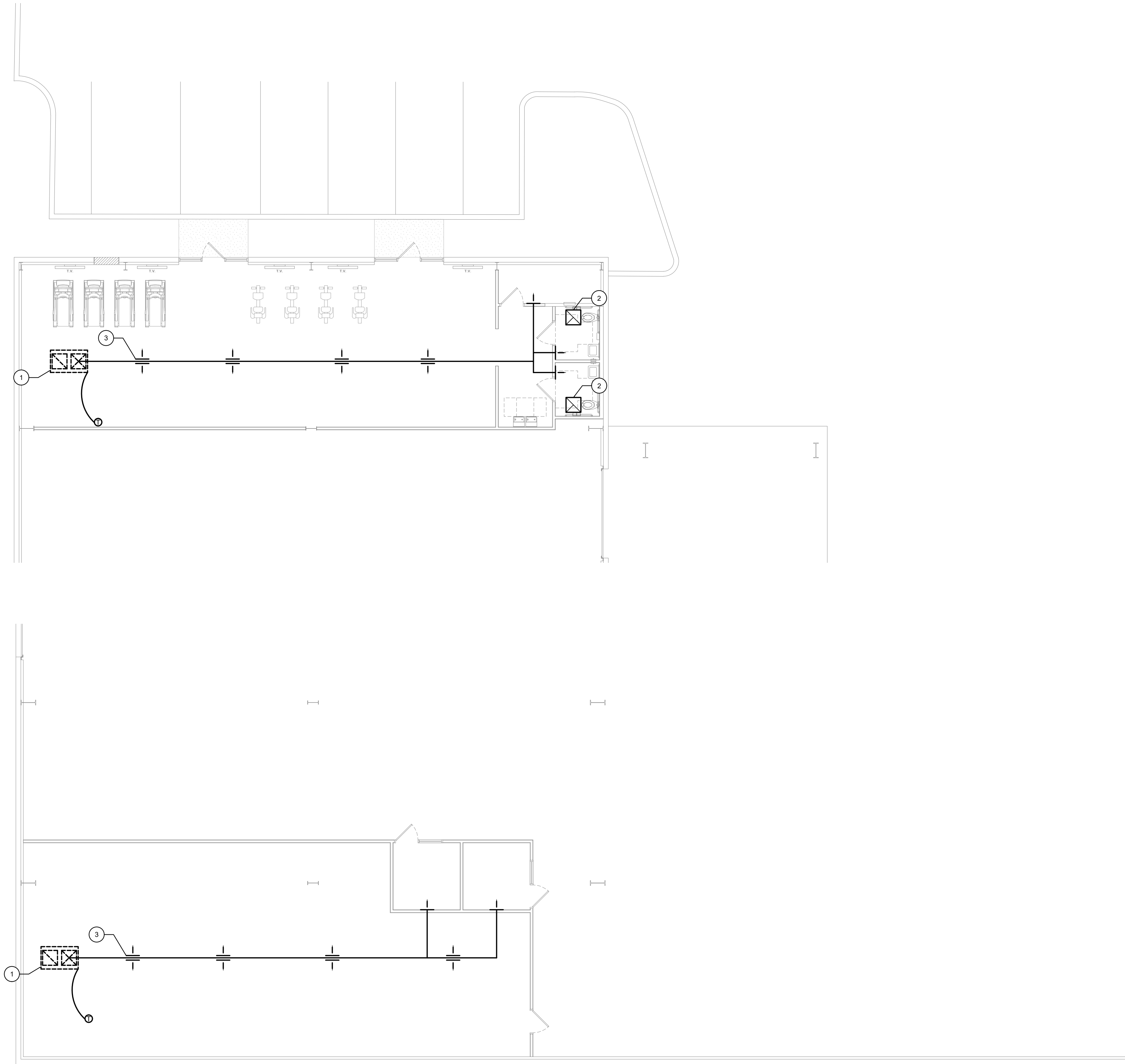
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MECHANICAL GYM AND SHOP PLAN
SCALE: 1/8" = 1'-0"

KEYNOTES
1. PACKAGED AHU LOCATED ON ROOF, T.O.P.
2. EXHAUST TO ROOFTOP EXHAUST FAN.
3. SUPPLY GRILLE ON EXPOSED SPIRAL ROUND DUCT, T.O.P.

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MECHANICAL GYM AND SHOP PLAN

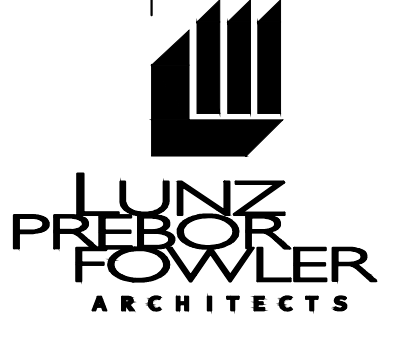
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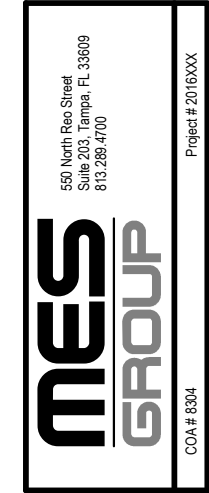
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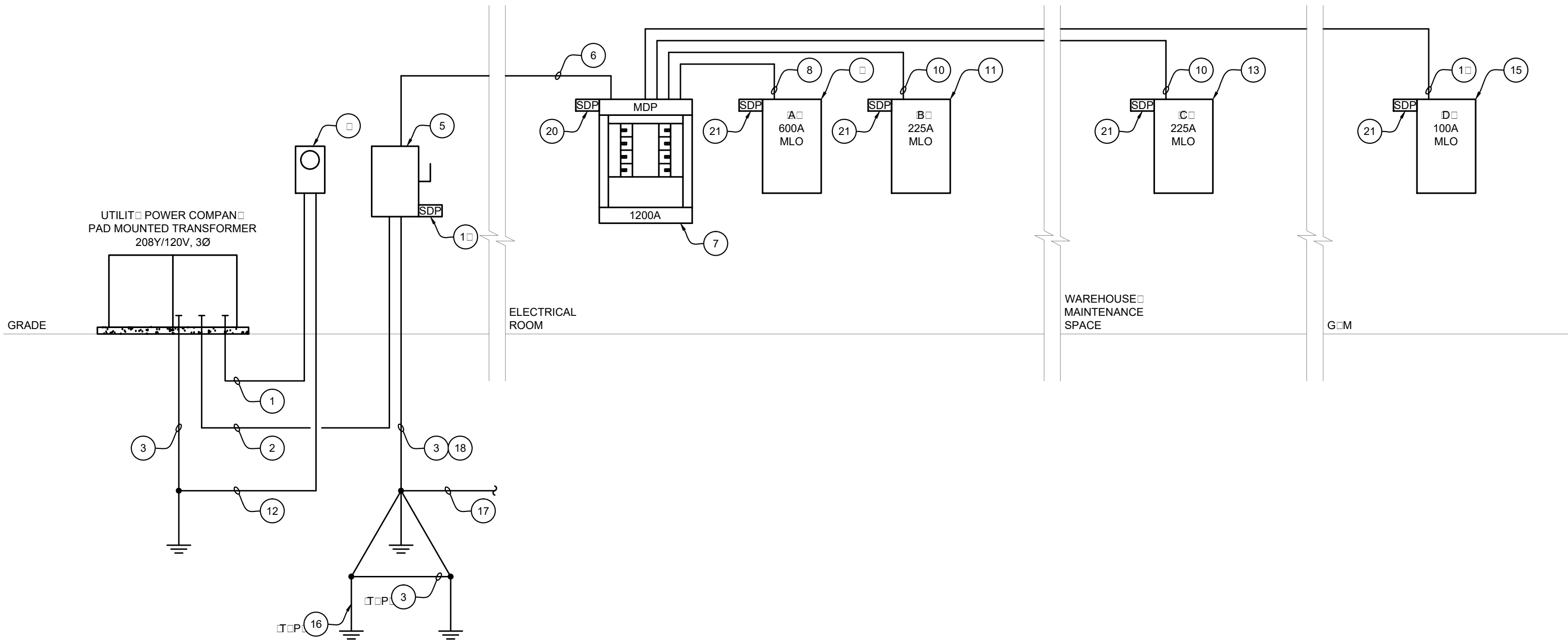
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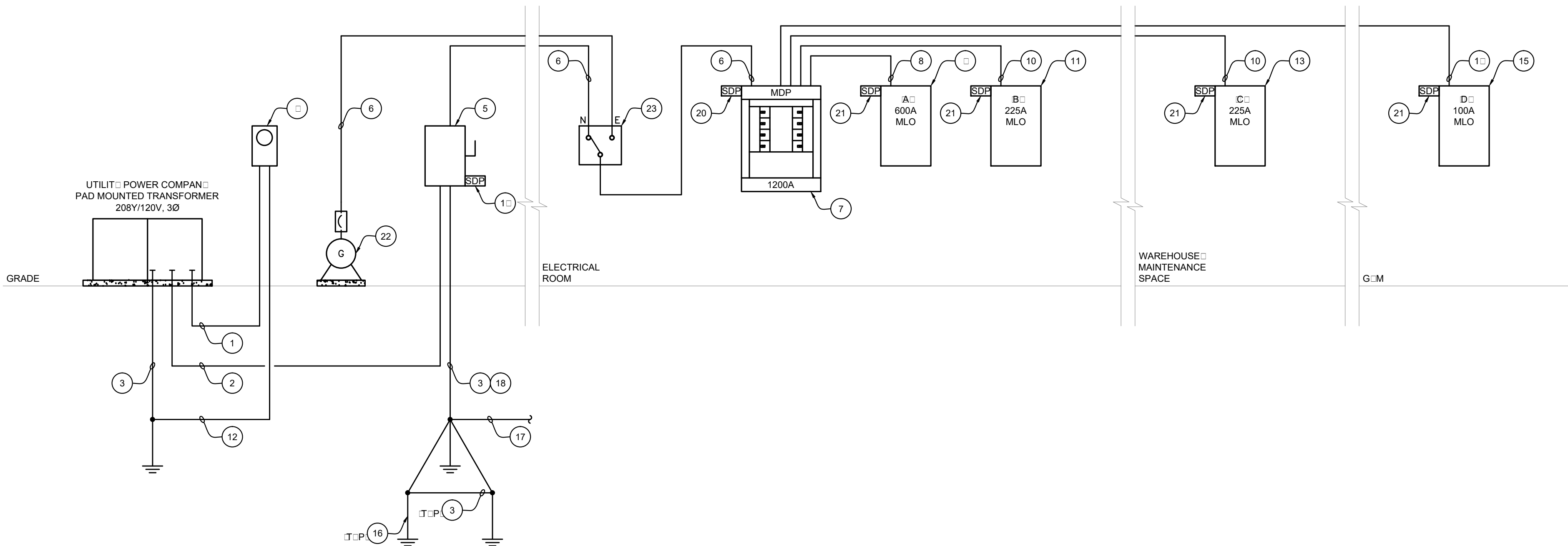
58 Lake Morton Drive
Lakeland, FL 33801-5344
p 863.682.1882
f 863.687.6346
lrc. AAC001580
lunz.com



76.70
PE



1 CONCEPT DESIGN POWER RISER DIAGRAM
SCALE: NTS



2 CONCEPT DESIGN POWER RISER DIAGRAM - ALTERNATE W/ STANDBY GENERATOR
SCALE: NTS

GENERAL NOTES

A. ALL CONDUCTORS TO BE COPPER.

B. CT SHALL BE INSTALLED IN UTILIT TRANSFORMER B UTILIT.

C. REFER TO LOCAL UTILIT STANDARDS FOR ELECTRICAL SERVICE REQUIREMENTS FOR COORDINATION WITH TRANSFORMER, METERING, EQUIPMENT PADS AND ADDITIONAL REQUIREMENTS.

D. REFER TO CONCEPT OUTLINE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

CONCEPT DESIGN RISER KEYNOTES

1. MINIMUM 1-1/2" C. GALVANIZED RIGID STEEL WITH PULL STRING FOR METERING.

2. 2 SETS - 350MCM, 2-1/2"C.

3. 1 Ø CU GROUNDING ELECTRODE CONDUCTOR.

4. UTILIT METER SOCKET AND METER. PRIOR TO PROCUREMENT, SUBMIT B-PASS TYPE METER SOCKET FOR REVIEW AND APPROVAL TO LOCAL POWER COMPANY. METER SHALL BE PROVIDED BY LOCAL POWER COMPANY. MOUNT ON 5:5 CONCRETE PEDESTAL.

5. HEAVY DUTY SERVICE ENTRANCE RATED SAFETY DISCONNECT SWITCH, 240V, 3Ø, 4W, 1200A RATED, FUSED AT 1200A, NEMA 3R, LOCKABLE IN "ON" POSITION.

6. 2 SETS - 350MCM, 3 Ø GROUND, 2-1/2"C.

7. MAIN POWER DISTRIBUTION PANEL, 208Y/120V 3Ø, 1200A, MLO, NEMA 1. PROVIDE BREAKERS AS REQUIRED FOR PANEL FEEDS WITH 22:1AIC RATING.

8. 2 SETS - 350MCM, 1 Ø GROUND, 3"C.

9. NEW SQUARE D PANELBOARD 'A', 208Y/120V 3Ø, 600A, MLO, MINIMUM 42 CIRCUIT SPACES, NEMA 1. PROVIDE 1P 20A CIRCUIT BREAKERS FOR ALL SPACES RATED AT 10:1AIC.

10. 3 Ø, 1 Ø GROUND, 2-1/2"C.

11. NEW SQUARE D PANELBOARD 'B', 208Y/120V 3Ø, 225A, MLO, MINIMUM 42 CIRCUIT SPACES, NEMA 1. PROVIDE 1P 20A CIRCUIT BREAKERS FOR ALL SPACES RATED AT 10:1AIC.

12. 1 Ø AWG BARE CU GROUND IN 3"C.

13. NEW SQUARE D PANELBOARD 'C', 208Y/120V 3Ø, 225A, MLO, MINIMUM 42 CIRCUIT SPACES, NEMA 1. PROVIDE 1P 20A CIRCUIT BREAKERS FOR ALL SPACES RATED AT 10:1AIC.

14. 3 Ø, 1 Ø GROUND, 1-1/2"C.

15. NEW SQUARE D PANELBOARD 'D', 208Y/120V 3Ø, 100A, MLO, MINIMUM 42 CIRCUIT SPACES, NEMA 1. PROVIDE 1P 20A CIRCUIT BREAKERS FOR ALL SPACES RATED AT 10:1AIC.

16. MINIMUM 3 Ø 10" COPPER-CLAD GROUND ROD.

17. 2 AWG CU CONNECTED TO SUPPLEMENTAL ELECTRODES PER NEC 250.53.

18. CONNECT TO BONDED NEUTRAL AND GROUNDING TERMINALS.

19. PROVIDE P- PROTECTION SURGE PROTECTIVE DEVICE, P-M200-208V, MODULAR PER MODE, ALL MODE, U.L. 1 Ø 3RD EDITION LISTED.

20. PROVIDE P- PROTECTION SURGE PROTECTIVE DEVICE, P-C200-208V, NON-MODULAR PER MODE, ALL MODE, U.L. 1 Ø 3RD EDITION LISTED.

21. PROVIDE P- PROTECTION SURGE PROTECTIVE DEVICE, P-C100-208V, NON-MODULAR PER MODE, ALL MODE, U.L. 1 Ø 3RD EDITION LISTED.

22. EMERGENCY STANDBY GENERATOR, 208Y/120V 3Ø, 350kW, NEMA 3R.

23. AUTOMATIC TRANSFER SWITCH, 240V, 3Ø, 1200A RATED, NEMA 1.

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ARCHITECTS

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N 1/4" G 1/4" PE
7/16"

150 North Pine Street
Lakeland, FL 33801
813.388.1111

MES
GROUP

DESIGN

Project #201604

PINELLAS PARK PUBLIC WORKS OPERATION CENTER

6250 82ND AVE. NORTH
PINELLAS PARK, FL 33781

CONCEPT DESIGN POWER RISER DIAGRAM

REVISION		
REVISION		
REVISION		
ISSUED FOR CONSTRUCTION:	--	
ISSUED FOR PERMIT:	--	
ISSUED FOR BID:	--	
ISSUED FOR APPROVAL:	--	
DRAWN BY:		
REVIEW BY:		

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LU-616-2016

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PINELLAS PARK PUBLIC WORKS OPERATION CENTER													
ID	Task Name	Duration	Start	Finish	16	Qtr 3	Qtr 4	Qtr 1	Qtr 2	2017	Qtr 3	Qtr 4	Qtr 1
1	SELECTION PHASE	54 days	Wed 8/17/16	Mon 10/31/16									
2	Proposal Submission	1 day	Wed 8/17/16	Wed 8/17/16		8/17							
3	Proposal Review / Award	53 days	Thu 8/18/16	Mon 10/31/16		8/17							
4	Bonds and Executed Contract	10 days	Tue 11/1/16	Mon 11/14/16		8/18							
5	Issue Notice to Proceed with Design	1 day	Tue 11/15/16	Tue 11/15/16			11/1						
6	DESIGN PHASE / PERMIT	86 days	Wed 11/16/16	Wed 3/15/17			11/15						
7	Notice to Proceed with Construction	3 days	Thu 3/16/17	Mon 3/20/17				3/16					
8	CONSTRUCTION PHASE	223 days	Tue 3/21/17	Thu 1/25/18									
9	Initial Mobilization & Site	5 days	Tue 3/21/17	Mon 3/27/17					3/21				
10	Install Silt Fence	3 days	Tue 3/21/17	Thu 3/23/17					3/21				
11	Temporary Utilities	10 days	Fri 3/24/17	Thu 4/6/17					3/24				
12	Site Demolition	15 days	Fri 3/24/17	Thu 4/13/17					3/24				
13	On-Site Electrical Underground	20 days	Fri 4/14/17	Thu 5/11/17					4/14				
14	Install Walks and Ramps	15 days	Fri 5/12/17	Thu 6/1/17					5/12				
15	Building	201 days	Mon 3/27/17	Mon 1/1/18					3/27				
16	Layout New Masonry Openings	2 days	Mon 3/27/17	Tue 3/28/17					3/27				
17	Install New Filled Cells	30 days	Wed 3/29/17	Tue 5/9/17					3/29				
18	Remove Roof / Roof Deck	25 days	Mon 3/27/17	Fri 4/28/17					3/27				
19	Selective Building Demolition	35 days	Wed 3/29/17	Tue 5/16/17					3/29				
20	Construct Elevator Pit	10 days	Wed 5/17/17	Tue 5/30/17					5/17				
21	Construct Elevator Walls	12 days	Wed 5/31/17	Thu 6/15/17					5/31				
22	Structural Roof Modifications	12 days	Mon 5/1/17	Tue 5/16/17					5/1				
23	Interior Slab Demo	5 days	Wed 5/17/17	Tue 5/23/17					5/17				
24	Underground Rough-in	16 days	Wed 5/24/17	Wed 6/14/17					5/24				
25	Repour Slab on Grade	3 days	Thu 6/15/17	Mon 6/19/17					6/15				
26	Patch / Level Admin Slabs	10 days	Tue 6/20/17	Mon 7/3/17					6/20				
27	Frame Interior Walls	15 days	Tue 7/4/17	Mon 7/24/17					7/4				
28	MEP Wall Rough	20 days	Tue 7/25/17	Mon 8/21/17					7/25				
29	Hang and Finish Drywall	21 days	Tue 8/22/17	Tue 9/19/17					8/22				
30	Install Roof Deck	12 days	Wed 5/17/17	Thu 6/1/17					5/17				
31	Install Roof	11 days	Fri 6/2/17	Fri 6/16/17					6/2				
32	Install Windows / Exterior Doors	10 days	Mon 6/19/17	Fri 6/30/17					6/19				
33	Interior Painting	20 days	Wed 9/20/17	Tue 10/17/17					9/20				
34	Above Ceiling MEP	10 days	Wed 9/20/17	Tue 10/3/17					9/20				
35	Ceiling Grid	5 days	Wed 10/4/17	Tue 10/10/17					10/4				
36	Install AC Grilles and Lighting	10 days	Wed 10/11/17	Tue 10/24/17					10/11				
37	Install Interior Doors	3 days	Wed 10/25/17	Fri 10/27/17					10/25				
38	Above Ceiling Inspection	3 days	Wed 10/25/17	Fri 10/27/17					10/25				
39	Install Ceiling Tile	7 days	Mon 10/30/17	Tue 11/7/17					10/30				
40	Install Flooring	17 days	Wed 11/8/17	Thu 11/30/17					11/8				
41	Signage	3 days	Fri 12/1/17	Tue 12/5/17					12/1				
42	Toilet Accessories	2 days	Fri 12/1/17	Mon 12/4/17					12/1				
43	Mechanical Startup	5 days	Fri 12/1/17	Thu 12/7/17					12/1				
44	Building Test & Balance	5 days	Fri 12/8/17	Thu 12/14/17					12/8				
45	Building Fire Alarm testing	2 days	Fri 12/15/17	Mon 12/18/17					12/15				
46	Final Building Inspections	4 days	Tue 12/19/17	Fri 12/22/17					12/19				
47	Fire Marshal Inspections	2 days	Mon 12/25/17	Tue 12/26/17					12/25				
48	Certificate of Occupancy	2 days	Wed 12/27/17	Thu 12/28/17					12/27				
49	Final Clean	2 days	Fri 12/29/17	Mon 1/1/18					12/29				
50	Owner Training	7 days	Tue 1/2/18	Wed 1/10/18					1/2				
51	Closeout	30 days	Fri 12/29/17	Thu 2/8/18					12/29				
52													

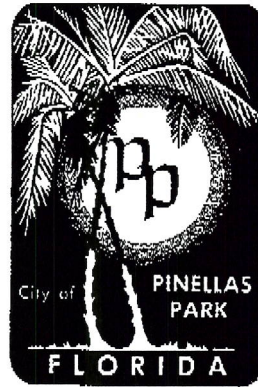
City of

PINELLAS PARK

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PINELLAS PARK, FL 33780-1100

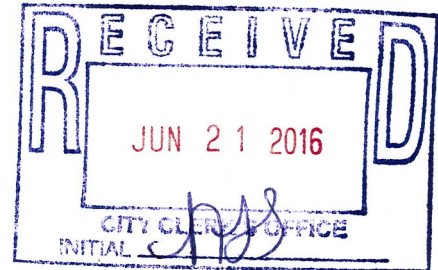
Please Respond To:

James W. Denhardt, City Attorney
Law Offices of James W. Denhardt
2700 First Avenue North
St. Petersburg, Florida 33713
(727) 327-3400 - Telephone
(727) 323-0888 - Facsimile

**FLORIDA**

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SUNCOM • 969-1011

June 17, 2016



Mr. Steve Majko
Facilities/Project Management Director
City of Pinellas Park
P. O. Box 1100
Pinellas Park, Florida 33780-1100

RE: City Document #16-108
Bid 16/002-Design/Build Public Works Operation Center

Dear Mr. Majko:

I have received and reviewed the above-referenced Bid documents. I note that on the title page of the Consultant/Architect Insurance & Hold Harmless section, the word "Consultant" is misspelled. With that change, I would otherwise approve of the Bid documents as to form and correctness.

Very truly yours,

James W. Denhardt
City Attorney

cc: Doug Lewis, City Manager
Diane M. Corna, MMC, City Clerk
Patrick Murphy, Assistant City Manager
Bart Diebold, Public Works Administrator

JWD/dh



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