

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF PINELLAS PARK, FLORIDA, AMENDING THE CITY'S OFFICIAL LAND USE PLAN MAP BY PROVIDING FOR A CHANGE IN THE LAND USE FROM INSTITUTIONAL (I) TO COMMERCIAL GENERAL (CG) FOR A CERTAIN PARCEL OF LAND GENERALLY LOCATED WEST OF US HIGHWAY 19, AT THE INTERSECTION OF MAINLANDS BOULEVARD AND MORE PARTICULARLY DESCRIBED IN EXHIBIT "A", WHICH IS ATTACHED HERETO AND MADE A PART THEREOF; CERTIFYING CONSISTENCY WITH THE CITY'S ADOPTED COMPREHENSIVE PLAN; PROVIDING FOR REPEAL OF ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HERewith TO THE EXTENT OF SUCH CONFLICT; PROVIDING FOR AN EFFECTIVE DATE. (LUPA 2018-1, BELLEAIR DEVELOPMENT LLC)

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**BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF PINELLAS PARK, PINELLAS COUNTY, FLORIDA, AS FOLLOWS:**

**WHEREAS**, the City of Pinellas Park, Florida, finds that it is in the public's interest to change the City's Land Use Plan Map designation from Institutional (I) to Commercial General (CG) for a certain parcel of land generally located west of US Highway 19, at the intersection of Mainlands Boulevard and more particularly described in Exhibit "A" attached hereto and made a part thereof; and

**WHEREAS**, the Planning and Zoning Commission, sitting as the Local Planning Agency, and the City Council for the City of Pinellas Park, Florida have reviewed and held public hearings on said request; and



**WHEREAS,** the City Council of the City of Pinellas Park, Florida, has, by the adoption hereof, authorized the transmittal of a certified copy of this Ordinance to Forward Pinellas Countywide Planning Authority, with a request that the Countywide Future Land Use Plan Map be amended consistent therewith.

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF PINELLAS PARK, PINELLAS COUNTY, FLORIDA, AS FOLLOWS:**

**SECTION ONE:** That the City Council of the City of Pinellas Park hereby amends the City's Official Land Use Plan Map and changes the following described property from Institutional (I) to Commercial General (CG):

THAT PARCEL LEGALLY DESCRIBED IN EXHIBIT "A" WHICH IS ATTACHED HERETO AND MADE A PART HEREOF.

**SECTION TWO:** That the City Council does hereby certify that this Ordinance is consistent with the City's Comprehensive Plan and elements thereof adopted pursuant to the Community Planning Act.

**SECTION THREE:** That all Ordinances, or parts of Ordinances, in conflict with the provisions of this Ordinance are hereby repealed insofar as the same affect this Ordinance.

**SECTION FOUR:** That this Ordinance shall become effective immediately upon approval hereof by the Countywide Planning Authority, unless challenged as hereinafter provided. If challenged within 30 days after adoption, the Ordinance shall not become effective until (i) the date that a final order is issued



by the Administrative Law Judge through the State Division of Administrative Hearings finding the same to be in compliance in accordance with Section 163.3187, Florida Statutes, and (ii) the adoption of this Ordinance \_\_\_\_ by the Countywide Planning Authority.

PUBLISHED THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

FIRST READING \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

PUBLIC HEARING THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

AYES:

NAYES:

ABSENT:

ABSTAIN:

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

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Sandra L. Bradbury  
MAYOR

ATTEST:

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Diane M. Corna, MMC  
CITY CLERK



Exhibit "A"

Legal Description

GENERALLY LOCATED WEST OF US HIGHWAY 19, AT THE INTERSECTION OF MAINLANDS BOULEVARD, BEING FURTHER DESCRIBED AS FOLLOWS:

LOTS 1, 2, 3, AND 4 INCLUSIVE, BLOCK 1, BOARDWALK IN PINELLAS PARK, PLAT BOOK 99, PAGES 10 AND 11, PINELLAS PARK, FLORIDA.

AND

A TRACT OR PARCEL OF LAND SITUATED IN THE STATE OF FLORIDA, COUNTY OF PINELLAS, LYING IN SECTION 22, TOWNSHIP 30 SOUTH, RANGE 16 EAST, BEING FURTHER BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCE AT CONCRETE MONUMENT MARKING THE SOUTHEAST CORNER OF SECTION 22, TOWNSHIP 30 SOUTH, RANGE 16 EAST, PINELLAS COUNTY, FLORIDA; THENCE N.00°03'57"W. ALONG THE WEST LINE OF SAID SECTION 22 FOR 739.02 FEET TO THE PERMANENT REFERENCE MONUMENT MARKING THE SOUTHWEST CORNER OF BOARDWALK IN PINELLAS PARK SUBDIVISION AS RECORDED IN PLAT BOOK 99, PAGES 10 AND 11, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; THENCE N.00°03'57"W. ALONG SAID WEST LINE AND THE WEST LINE OF SAID SUBDIVISION FOR 220.00 FEET TO THE NORTHWESTERLY SOUTHWEST CORNER OF LOT 3, BLOCK 1, OF SAID SUBDIVISION AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL; THENCE CONTINUING N.00°03'57"W. ALONG SAID WEST LINES ALSO BEING THE WEST LINES OF LOTS 3, 2 AND 1, BLOCK 1 OF SAID SUBDIVISION FOR 855.54 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF THE 46<sup>TH</sup> STREET NORTH AS DEDICATED ON SAID SUBDIVISION; THENCE ALONG THE SOUTHERLY AND EASTERLY RIGHT OF WAY LINE OF SAID 46<sup>TH</sup> STREET NORTH, THE FOLLOWING COURSES, N.89°56.03"E. FOR 15.00 FEET; THENCE N.00°03'57"W. FOR 300.88 FEET TO THE INTERSECTION OF SAID EASTERLY RIGHT OF WAY LINE AND THE SOUTHWESTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY 19, 200 FOOT WIDE; THENCE S.31°56'24"E. ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE, ALSO BEING THE EASTERLY LINE OF LOTS 1, 2, 3 AND 4 OF SAID BLOCK 1 FOR 1620.82 FEET TO THE PERMANENT REFERENCE MONUMENT MARKING THE SOUTHEAST CORNER OF SAID SUBDIVISION; THENCE S.89°56'03"W. ALONG THE SOUTH LINE LOTS 4 AND 3 OF SAID SUBDIVISION FOR 850.88 FEET TO A POINT ON THE SAID EASTERLY RIGHT OF WAY LINE OF 46<sup>TH</sup> STREET NORTH; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE THE FOLLOWING COURSES, N.00°03'57"W. FOR 220.00 FEET; THENCE S.89°56'03"W. FOR 20.00 FEET TO THE POINT OF BEGINNING.





I. APPLICATION DATA

- A. **Case Number:** PUD 2019-4, LUPA 2018-1, Z 2018-1
- B. **Location:**
  - 1. **Address:** 8900 US Highway 19 N.
  - 2. **Parcel Number:** 22-30-16-09497-001-0010 (parcel to be subdivided)
- C. **Request:** Request to amend the Future Land Use Map designation from Institutional (I) to Commercial General (CG) for the construction of 239 multi-family dwellings.
- D. **Applicant:** Belleair Development, LLC.
- E. **Agent:** Carlos Yepes
- F. **Legal Ad Text:** Request to amend the Future Land Use Map designation from Institutional (I) to Commercial General (CG) for the construction of 239 multi-family dwellings.
- G. **Public Hearings:**
  - Planning and Zoning Commission: 10/03/2019 and 11/7/2019
  - City Council: 8/27/2020
  - Deadline to send public hearing notices: 08/03/2020
  - Advertising deadline: 08/03/2020 (Sent); 08/12/2020 (Published)

II. BACKGROUND INFORMATION

- A. **Site Area:** 435,033 square feet / 9.987 acres
- B. **Property History:**
  - 1. **Land Use Plan or Zoning Amendments:** A request for a Planned Unit Development (PUD) overlay with a Master Plan for the construction of 239-unit multi-family dwellings (where 44 units will be provided as affordable housing) with a request to rezone from "P" Public to "B-1" General Commercial Zoning District was denied by the City Council on June 11, 2020.
  - 2. **Previous Permits and Development:** In 2009, Calvary Chapel of St. Petersburg, Inc. purchased the subject property from two different entities. The property was combined with the lot on which the Calvary Chapel church building is located.
  - 3. **Previous Variances, Waivers:** None as it pertains to the subject property.
- C. **Existing Use:** Vacant / Abandoned Manufactured Home Park
- D. **Proposed Use:** Multi-Family Dwellings
- E. **Current Zoning District:** "P" Public District
- F. **Proposed Zoning District:** "B-1" General Commercial District



**1. Zoning District Purpose / Intent:**

*SECTION 18-1520. - "B-1" GENERAL COMMERCIAL DISTRICT*

*Sec. 18-1520.1. - STATEMENT OF INTENT.*

*The "B-1" General Commercial District is established in order to identify and provide those geographic areas within the City of Pinellas Park that are appropriate for the development and maintenance of a general commercial environment with supportive medium density residential. This district is intended for a wide variety of consumer-oriented commercial uses and activities located in proximity to major thoroughfares and to residential concentrations, together with accessory uses and public facilities customary to or required for such an environment.*

**2. Staff Analysis:**

The proposed rezoning to the "B-1" District would allow for the development of multi-family dwellings as a permitted use and, at the sole discretion of City Council, at a density of up to 24 units per acre as an incentive to develop affordable housing, subject to location criteria and development approval requirements. Further, the proposed "B-1" District is consistent with the surrounding area. As such, the proposed rezoning would be appropriate.

**G. Current Land Use:** Institutional (I)

**ii. Proposed Land Use:** Commercial General (CG)

**1. Purpose:**

*It is the purpose of this category to depict those areas of the City that are now developed, or appropriate to be developed, in a manner designed to provide communitywide and countywide commercial goods and services; and to recognize such areas as primarily consistent with the need, relationship to adjoining uses and with the objective of encouraging a consolidated, concentrated commercial center providing for the full spectrum of commercial uses.*

**2. Key Standards:**

**Primary Uses** – Office; Personal Service/Office Support; Retail Commercial; Commercial/Business Service; Wholesale/Distribution (Class A); Storage/Warehouse (Class A); Temporary Lodging

**Secondary Uses** - Commercial Recreation; Residential; Residential Equivalent; Institutional; Transportation/Utility; Recreation/Open Space; Research/Development; Light Manufacturing/Assembly (Class A)

**Density/Intensity** – Residential Use - Shall not exceed 24 dwelling units per acre.

**3. Staff Analysis:**

The proposed use of the subject property as multi-family dwellings is inconsistent with the purpose of the land use category. However, residential is recognized in the Plan as a secondary use in Commercial General. The proposed 239 dwelling units would result in a density of 23.93 dwelling units per acre, which is consistent with this maximum density.

**I. Flood Zone:** The property is located in Flood Zone AE, which is a high-risk flood zone.

**J. Evacuation Zone:** The property is in Evacuation Zone C, which is the third level to evacuate in preparation for a storm. Zone C is evacuated when storm surge height is predicted to be up to 20 feet.



**K. Vicinity Characteristics:**

<i>Direction</i>	<i>Zoning</i>	<i>Land Use</i>	<i>Existing Use</i>
North	P / "T-2"	I / RLM	Crystal Lake Mobile Home Resort
South	"P" / "R-5"	I / RM	Runaway Bay Apartments
East	"P" / "B-1"	I / CG	Calvary Chapel St. Petersburg
West	"T-2" / "R-4"	RLM	Crystal Lake Mobile Home Resort First United Methodist Church

**III. APPLICABLE CRITERIA / CONSIDERATIONS**

**A. Comprehensive Plan Policies:**

**1. Relevant Policies:**

*GOAL LU.1*

*Provide for the organization of land uses and development to meet the physical, social, and economic needs of the present and future population in a planned and orderly manner that will maintain or improve the quality of the natural and man-made environment.*

*POLICY LU.1.1.2*

*Land use designations on the Future Land Use Map shall be compatible with adjacent and surrounding land uses.*

*OBJECTIVE LU.1.12*

*The City shall continue to encourage innovative land development techniques, including planned unit developments and other mixed use development and redevelopment techniques, in order to achieve the following objectives:*

- a. Encourage development that is compatible with the natural environment and the overall vision of the community.*
- b. Provide vibrant and safe walkable areas.*
- c. Concentrate growth in relatively discrete areas that are compatible with the community character.*
- d. Place housing in proximity to employment opportunities, services, and amenities.*
- e. Establish urban areas that support transportation choices other than privately-owned vehicles and are more efficiently served by transit.*
- f. Establish well-designed urban environments that create vibrant, livable places.*
- g. Provide locations that create a range of housing opportunities and choices, including the provision of affordable housing.*
- h. Provide urban areas that incorporate well-designed open and public spaces.*
- i. Encourage a pattern of land use that is more efficient in the use of energy and reduces the emission of greenhouse gases.*

*OBJECTIVE LU.1.13*

*The Land Development Code shall provide for a variety of residential uses and housing opportunities.*

*POLICY LU.1.13.2*

*Promote, through the use of development regulations, innovative designs, variety of housing types and densities, clustering of units, supportive accessory uses, transportation alternatives, optimal use of landscaping and buffering, and a system of active and passive open space.*

*POLICY LU.1.13.6*

*Encourage infill residential development that is consistent and compatible with surrounding land uses.*

*POLICY LU.1.14.4*

*Foster residential development and redevelopment at an intensity and scale that is compatible with proximate residential neighborhoods.*



**OBJECTIVE H.1.1**

*The City will support the provision of an adequate supply of dwelling units in a variety of types, locations and costs to meet the current and projected housing needs of all residents.*

**POLICY H.1.1.1**

*Through the land use plan and zoning regulations, the City shall continue to support a land use pattern and land use decisions that provide for diverse housing opportunities and choices at varying densities and locations, while ensuring the provision of adequate public services, utilities, and amenities.*

**OBJECTIVE H.1.3**

*The City will encourage the provision of an adequate supply of affordable and workforce housing that is affordable to extremely low-, very low-, low-, moderate-, and middle-income households*

**POLICY H.1.3.1**

*Affordable and workforce housing units are those serving households whose income does not exceed the limits specified below, with no more than 30% of household income expended on housing costs.*

- a. *Extremely low income – 30% of adjusted area median income*
- b. *Very low income – 50% of adjusted area median income*
- c. *Low Income – 80% of area median income*
- d. *Moderate Income – 120% of area median income*
- e. *Middle Income/Workforce Housing – 150% of area median income*

**POLICY H.1.3.5**

*The following criteria will be used in determining preferred locations for affordable and workforce housing development:*

- a. *The proposed development is located in proximity to places of employment.*
- b. *A mode of transportation other than privately-owned vehicles (e.g., a bus stop) is available or will be available within walking distance of the proposed development.*
- c. *The proposed development is located in proximity to neighborhood services such as a grocery store, pharmacy, or bank.*
- d. *There is adequate infrastructure to serve the proposed development;*
- e. *The proposed development is located outside the Coastal Storm Area*

**POLICY H.1.3.6**

*A density bonus shall be available for affordable housing developments, subject to development guidelines and specifications as well as compatibility with surrounding development, site constraints, and other appropriate considerations as determined through the Land Development Code and the site plan review process. Subject to the above constraints and considerations, any density bonus allowed for an affordable housing development shall not exceed 50 percent of the allowable density on a property as determined by the Future Land Use Map or the applicable land development regulations, whichever is more restrictive. Where a density bonus is allowed for an affordable housing development, the allowable floor area permitted for the underlying use is not required to be reduced. A density bonus shall not be allowed for affordable housing developments located within the Coastal Storm Area.*

**2. Staff Analysis:**

Any amendment to the Future Land Use Map shall be based upon its consistency with the Goals, Objectives, and Policies of the Comprehensive Plan. Regarding compatibility with adjacent and surrounding land uses, there are several functionally abutting properties with Commercial General (CG) land use designations. However, the abutting land uses include Residential Medium (RM), Residential Low Medium (RLM) and Public.

The proposed development will place housing in proximity to the employment opportunities, services and amenities along the US Highway 19 corridor. Specifically, PSTA Route 34 runs along this section of US Highway 19 and has northbound and southbound stops with a short distance of the project; and, a grocery store (ALDI) is located directly east across US Highway 19.

Furthermore, as the development proposal includes the utilization of the density bonus for affordable housing development, the project will achieve compliance with additional Objectives and Policies. The



development proposal is consistent with the criteria set forth in the adopted Comprehensive Plan for determining preferred locations for affordable/workforce housing development.

It should be noted that a wetland covers a portion of the property. The Southwest Florida Water Management District will determine the extent to which the development is compatible with the natural environment and what, if any, mitigation will be necessary.

The location of the housing on a high traffic portion of U.S. Highway 19 is inconsistent with the policy of creating safe walkable areas per Objective LU.1.12. No pedestrian or bicycling improvements are proposed. However, the developer has agreed to work with PSTA to include a bus shelter on the property.

Comprehensive Plan Objective LU.1.3 underscores that density shall be compatible with planned support facilities. This enables the Planning Commission and the City Council to review a specific project within the overall transportation system impacts. Comprehensive Plan Policies T.1.1.2 and T.1.4.7 relate that the City shall monitor impacts of development to ensure consistency with the transportation element and ensure carrying capacity. The applicant has submitted a traffic study to address this requirement. In addition, the FDOT has plans for road improvements in the area, which should decrease traffic delays.

Given all of the above, staff finds that the development proposal is in compliance with the Goals, Objectives, and Policies of the adopted Comprehensive Plan.

## **B. Land Development Code Standards:**

### **1. Key Standards:**

#### **SECTION 18-1520. - "B-1" GENERAL COMMERCIAL DISTRICT**

##### **Sec. 18-1520.2. – DENSITY REGULATIONS.**

*Multi-family dwellings are permitted at a maximum density of fifteen (15.0) units per net acre when assigned a Land Use Plan Map classification of RM (multi-family dwellings only), R/OG, CG or CRD. Multi-family dwellings are permitted at a maximum density of eighteen (18) units per net acre when assigned a Land Use Plan Map classification of R/O/R. As an incentive to develop mixed use developments or affordable housing on parcels assigned a Land Use Plan Map classification of CG or CRD, City Council may, in its sole discretion and if it determines that additional density will help promote mixed use developments or affordable housing on such parcels, approve up to twenty-four (24) dwelling units per net acre subject to the following location criteria and development approval requirements.*

- 1. Approval by City Council of a "PUD" overlay. (see Section 18-1529).*
- 2. The parcel must be located with frontage on an arterial street as defined in the City's Comprehensive Plan.*
- 3. The developer shall coordinate site development with the Pinellas Suncoast Transit Authority (PSTA) for the provision of transit supportive infrastructure such as, but not limited to, transit shelters, bike racks or bus pull off bays. Residential parking requirements may be reduced to one (1) off-street parking space per unit when transit supportive infrastructure is provided to the extent that City Council determines is appropriate given the subject's location relative to locations with high employment opportunity or job/career training facilities.*
- 4. Mixed use development rights for parcels assigned CG future land use shall be determined by applying a F.A.R. of forty-five hundredths (0.45) for nonresidential uses and a lot size of one thousand eight hundred fifteen (1,815) square feet of land area per dwelling unit, exclusive of the land area assigned to the nonresidential development. Parcels assigned the CRD future land use are not subject to the above land area apportionment formula when being developed with mixed uses consistently with the Community Redevelopment Plan.*
- 5. Developers that choose the higher density option shall provide affordable housing equal to fifty (50) percent of the units above the base density as follows: Proposed density = 24 units per acre minus fifteen (15) units per acre base density = 9 units per acre density bonus x 0.5 = 4.5 or 4 units per acre to be provided as affordable units.*
- 6. Affordable housing means the same as that provided by the Pinellas County Housing Authority, as the same may change from time to time, for low income categories and workforce housing.*



## **SECTION 18-1538. - AMENDMENTS TO THE LAND USE PLAN MAP**

### **Sec. 18-1538.2. - PROCEDURE.**

*The general procedure for the amendment of the Land Use Plan Map is as follows:*

#### **(C) PUBLIC HEARING PROCEDURE.**

- 1. The Planning and Zoning Commission shall hear the application at a public hearing, acting in an advisory capacity to the City Council as the Local Planning Agency for purposes of F.S. ch. 163, pt. II.*
- 2. The City Council shall hear the application during a public hearing and shall consider the recommendation of the Local Planning Agency in its decision to approve or deny the application. Approval of a map amendment application may incorporate voluntary and enforceable stipulations made by the applicant for the purpose of addressing amendment impacts on the community.*
- 3. Amendments to the future land use plan map are considered legislative, and need not be subject to quasi-judicial hearing procedure.*

### **Sec. 18-1538.3. - REVIEW CRITERIA.**

*Review and disposition of petitions for amendment to the Land Use Plan Map shall be based upon the consistency of the proposed amendment with the goals, objectives, and policies of the Comprehensive Plan.*

#### **2. Staff Analysis.**

The current land use and zoning designations on the subject property of Institutional (I) and "P" Public District, respectively, allow for multi-family dwellings at a density of 12.5 dwelling units per acre. In order to make for an economically viable project, the developer has requested amendments to the Land Use Plan Map and zoning designations to Commercial General (CG) and "B-1" General Commercial District, respectively, which would provide for nearly double the allowable density at 24 dwelling units per acre.

Increasing the allowable density on the subject property is the primary reason for the Future Land Use Map amendment. Pursuant to Section 18-1520.2, the maximum density for multi-family development in the "B-1" District is 15 dwelling units per acre. However, that same Section also establishes that this maximum may be increased to 24 dwelling units per acre for the provision of affordable housing. The development proposal meets the criteria in this Section, as the property will have frontage on an arterial street (US Highway 19 N), and will provide 44 affordable units. Additionally, the developer will coordinate with PSTA for the provision of transit supportive infrastructure such as, but not limited to, transit shelters, bike racks or bus pull off bays.

#### **C. Essential Services Review:**

The development proposal has been reviewed by all relevant departments/divisions. No concerns were raised with regard to the proposed development.

#### **SUMMARY**

#### **A. Findings:**

Based on the information and analysis contained in this report, staff finds as follows:

1. That the 9.987-acre subject property is located on the west side of the intersection of US Highway 19 N and Mainland Boulevard;
2. That the subject property currently has a Future Land Use Map designation of Institutional (I) and a zoning designation of "P" Public District;
3. That the Future Land Use Map designation of the subject property is proposed to be amended to Commercial General (CG) and the zoning amended to "B-1" General Commercial District;
4. That the development proposal will demolish all existing improvements on the subject property and construct 239 multi-family dwelling units (23.93 dwelling units per acre) within five buildings, as well as associated clubhouse, amenities area, off-street parking and landscaping;
5. That a minimum of 44 dwelling units are required to be rented in compliance with Pinellas County guidelines as affordable housing in order to obtain the maximum density of 24 dwelling units per acre;



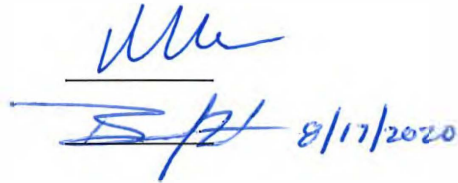
6. That the requested Future Land Use Map amendment from Institutional (I) to Commercial General (CG) meets the review criteria pursuant to Section 18-1538.3.;
7. That the development proposal is consistent with the applicable Goals, Objectives and Policies of the Comprehensive Plan.

**B. Staff Recommendation:**

Consistent with the above identified findings, staff recommends **APPROVAL** of case numbers LUPA 2018-1, Z 2018-1 and PUD 2019-4, subject to the following conditions:

1. The subject property shall be subdivided from the overall Calvary Chapel of St. Petersburg property (Parcel ID # 22-30-16-09497-001-0010) prior to the issuance of any building permit;
2. The developer will coordinate with PSTA for the provision of transit supportive infrastructure such as, but not limited to, transit shelters, bike racks or bus pull off bays, and that evidence of this shall be provided to staff prior to the issuance of any building permit; and,
3. The developer shall cause to be made available no less than 44 of the 239 dwelling units within the development to be rented as affordable housing in compliance with Pinellas County Housing Authority regulations.

Planning & Development Services Director



8/17/2020

Community Development Administrator:

**V. ACTION**

**PLANNING AND ZONING COMMISSION – MOVE TO:**

- A. RECOMMEND APPROVAL
- B. RECOMMEND APPROVAL WITH CONDITIONS
- C. RECOMMEND DENIAL

**VI. ATTACHMENTS**

**Exhibit A: Applications (LUPA, Z and PUD) with Legal Description**  
**Exhibit B: Survey, Site Plan, Landscape Plan and Architectural Elevations**  
**Exhibit C: Aerial Map**  
**Exhibit D: Land Use Map**  
**Exhibit E: Zoning Map**  
**Exhibit F: FIRM Map**





## **ADDENDUM**

**Case Numbers:** LUPA 2018-1

### **PLANNING AND ZONING COMMISSION**

On November 7, 2019, the Planning and Zoning Commission **RECOMMENDED DENIAL** of Case # LUPA 2018-1.

#### **VI. ACTION**

##### **CITY COUNCIL– MOVE TO:**

- 1: APPROVE**
- 2: APPROVE WITH CONDITIONS**
- 3: DENY**

...a request to amend the Future Land Use Map designation from Institutional (I) to Commercial General (CG) for a property located at 8900 US Highway 19.



Received 9/30/18

EXHIBIT A  
(3 pages)

City of Pinellas Park, Florida  
**APPLICATION FOR LAND USE PLAN MAP AMENDMENT**

\*\*\*\*\*  
FOR OFFICE USE ONLY

CASE # LUPA 2018-1 P&Z MEETING: 10-4-18 CC/CRA MEETING: 11-8-18  
PLAT SHEET: D-8 RELATED CASES: 2 2018- RECEIPT NUMBER: 243172  
ZONING DISTRICT: P LAND USE DESIGNATION: Ins DATE RECEIVED: \_\_\_\_\_

\*\*\*\*\*  
**REQUEST AND PROPERTY INFORMATION**

SPECIFIC REQUEST: Applicant is requesting a Land Use Plan Map Amendment to change the land use on a portion of the subject property (approx. 9.8 acres) from Institutional to Commercial General to allow those uses as permitted in the B-1 zoning code. See the Site Plan attached hereto as Exhibit "B" illustrating the portion of the property for the proposed land use change.

GENERAL LOCATION OF PROPERTY OR ADDRESS: 8900 US Highway 19 N., Pinellas Park

PROPERTY SIZE (Acreage / Square Feet): Entire Parcel Approx. 23.717 Acres / Parcel for Land Use Change - Approx. 9.8 Acres

CURRENT USE (Number and Type of Buildings): Church and a vacant land parcel and wetland area

PARCEL NUMBER(S): 22-30-16-09497-100-0010

LEGAL DESCRIPTION: LOT 1, 2, 3 & 4, BLOCK 1, SUBDIVISION Boardwalk in Pinellas Park, Plat Book 99, Pages 10 & 11

OR METES AND BOUNDS DESCRIPTION (attach if lengthy): See Legal Description attached on Exhibit "A"

\*\*\*\*\*  
**OWNER/APPLICANT INFORMATION – PLEASE PRINT CLEARLY**

PROPERTY OWNER: Calvary Chapel of St. Petersburg, Inc. PHONE: (727) 577-7705

MAILING ADDRESS/CITY/ZIP: 8900 US Highway 19 N., ATTN. TO: Cindy Potts  
Pinellas Park, FL 33781 (PLEASE PROVIDE CONTACT NAME)

AUTHORIZED AGENT: Bellair Development, LLC- Attn: Carlos A. Yepes PHONE: (727) 536-8686

MAILING ADDRESS/CITY/ZIP: 6654 78th Avenue N., Pinellas Park, FL 33781

OTHER REPRESENTATIVE: \_\_\_\_\_ PHONE: ( )

MAILING ADDRESS/CITY/ZIP: \_\_\_\_\_



## AFFIDAVIT OF OWNERSHIP

STATE OF FLORIDA - COUNTY OF PINELLAS:

NAME OF ALL PROPERTY OWNERS, being first duly sworn, depose(s) and say(s):

I, Cindy M. Potts, Corporate Secretary, as authorized by the Board of Directors for Calvary  
Chapel of St. Petersburg, Inc.

1. That (I am/we are) the owner(s) and record title holder(s) of the following described property, to wit:

ADDRESS OR GENERAL LOCATION:

8900 US Highway 19 N., Pinellas Park

LEGAL DESCRIPTION OF PROPERTY. Type legal directly on this sheet. If too lengthy, type on separate sheet titled "Exhibit A" and attach:

See attached Exhibit "A"

2. That this property constitutes the property for which an application is being made to the City of Pinellas Park, Florida (NATURE OF REQUEST):

Bellair Development, LLC is requesting to amend the land use plan map to change the land use from  
Institutional to Commercial General on the vacant portion of the property (approximately 9.8 acres)  
as illustrated on the Site Plan attached hereto as Exhibit "B".

3. That the undersigned (has/have) appointed and (does/do) appoint Carlos A. Yepes and/ as (his/their) agent(s) to execute any petitions or other documents  
necessary to affect such application. or Christian A. Yepes of Belleair Development, LLC

4. That this affidavit has been executed to induce the City of Pinellas Park, Florida, to consider and act on the above described property; to include City representatives to enter upon  
property to make inspections as are necessary to visualize site conditions and/or determine compatibility.  
**CALVARY CHAPEL OF ST. PETERSBURG, INC.**

Cindy M. Potts  
SIGNED (PROPERTY OWNER) Corporate Secretary

SIGNED (PROPERTY OWNER)

STATE OF FLORIDA  
COUNTY OF Pinellas

The foregoing instrument was acknowledged before me this AUGUST 30, 2018  
(Date)

By CINDY M. POTTS  
(Name of person acknowledging and title of position)

who is personally known to me or who has produced DRIVERS LICENSE  
(Type of identification)

as identification and who did (did not) take an oath.



(SEAL ABOVE)

Mary K. Kuzbyt Notary Public, Commission No. GG 180955  
MARY K. KUZBYT Name of Notary typed, printed or stamped



EXHIBIT "A"

LEGAL DESCRIPTION

LOTS 1, 2, 3 AND 4 INCLUSIVE, BLOCK 1, BOARDWALK IN PINELLAS PARK, PLAT BOOK 99, PAGES 10 AND 11, PINELLAS PARK, FLORIDA.

A TRACT OR PARCEL OF LAND SITUATED IN THE STATE OF FLORIDA, COUNTY OF PINELLAS, LYING IN SECTION 22, TOWNSHIP 30 SOUTH, RANGE 16 EAST, BEING FURTHER BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCE AT CONCRETE MONUMENT MARKING THE SOUTHEAST CORNER OF SECTION 22, TOWNSHIP 30 SOUTH, RANGE 16 EAST, PINELLAS COUNTY, FLORIDA; THENCE N.00°03'57"W. ALONG THE WEST LINE OF SAID SECTION 22. FOR 739.02 FEET TO THE PERMANENT REFERENCE MONUMENT MARKING THE SOUTHWEST CORNER OF BOARDWALK IN PINELLAS PARK SUBDIVISION AS RECORDED IN PLAT BOOK 99, PAGES 10 AND 11, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; THENCE N.00°03'57"W. ALONG SAID WEST LINE AND THE WEST LINE OF SAID SUBDIVISION FOR 220.00 FEET TO THE NORTHWESTERLY SOUTHWEST CORNER OF LOT 3, BLOCK 1, OF SAID SUBDIVISION AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL; THENCE CONTINUING N.00°03'57"W. ALONG SAID WEST LINES ALSO BEING THE WEST LINES OF LOTS 3, 2 AND 1, BLOCK 1 OF SAID SUBDIVISION FOR 855.54 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF 46TH STREET NORTH AS DEDICATED ON SAID SUBDIVISION; THENCE ALONG THE SOUTHERLY AND EASTERLY RIGHT OF WAY LINE OF SAID 46TH STREET NORTH, THE FOLLOWING COURSES, N.89°56'03"E. FOR 15.00 FEET; THENCE N.00°03'57"W. FOR 300.88 FEET TO THE INTERSECTION OF SAID EASTERLY RIGHT OF WAY LINE AND THE SOUTHWESTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY 19, 200-FOOT WIDE; THENCE S.31°56'24"E. ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE, ALSO BEING THE EASTERLY LINE OF LOTS 1, 2, 3 AND 4 OF SAID BLOCK 1 FOR 1620.82 FEET TO THE PERMANENT REFERENCE MONUMENT MARKING THE SOUTHEAST CORNER OF SAID SUBDIVISION; THENCE S.89°56'03"W. ALONG THE SOUTH LINE LOTS 4 AND 3 OF SAID SUBDIVISION FOR 850.88 FEET TO A POINT ON THE SAID EASTERLY RIGHT OF WAY LINE OF 46TH STREET NORTH; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE THE FOLLOWING COURSES, N.00°03'57"W. FOR 220.00 FEET; THENCE S.89°56'03"W. FOR 20.00 FEET TO THE POINT OF BEGINNING.



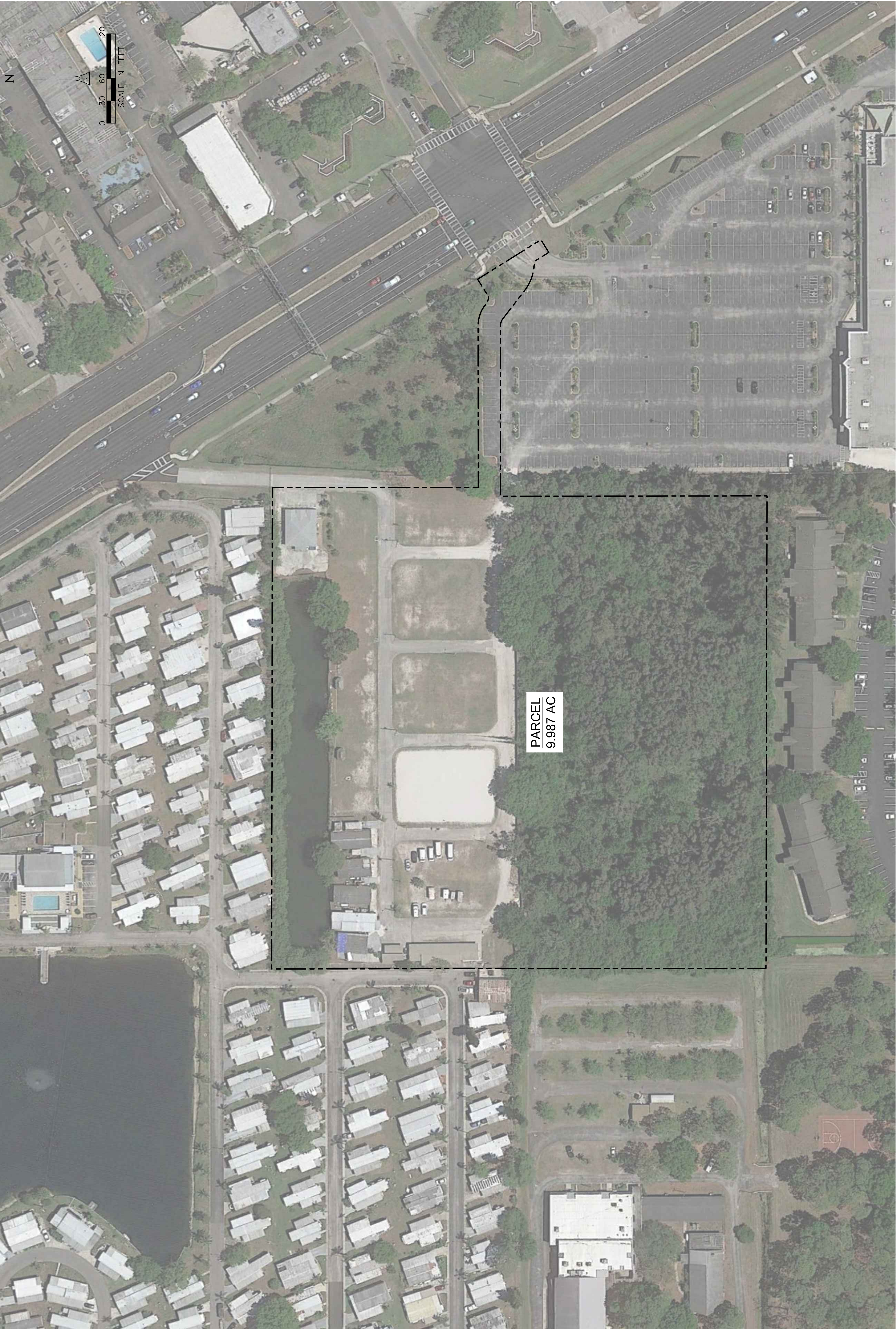


**Belleair**  
schematic elevation





NO.	DATE	DESCRIPTION





STREET ADDRESS:  
8900 US HIGHWAY 19 NORTH  
PINELLAS PARK, FLORIDA 33782

**SURVEYOR'S CERTIFICATE**

THIS SURVEY IS MADE FOR THE BENEFIT OF:

TO: BELLEAIR DEVELOPMENT, LLC, PRESTON D. COCKEY, JR., P.A., FIDELITY NATIONAL  
TITLE INSURANCE COMPANY

LEGAL DESCRIPTION: (SUBJECT PARCEL)

A PARCEL OF LAND LYING IN SECTION 22, TOWNSHIP 30 SOUTH, RANGE 16 EAST, PINELLAS COUNTY, FLORIDA, AND BEING A PORTION OF FARM 48, PINELLAS FARMS, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, PAGES 4 AND 5, OF THE PUBLIC RECORDS PINELLAS COUNTY, FLORIDA, AND PORTIONS OF LOTS 1, 2, AND 3, BOARDWALK IN PINELLAS PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 99, PAGES 10 AND 11, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF SAID FARM 48; THENCE S00°35'27"E, ALONG THE EAST LINE OF SAID FARM 48, A DISTANCE OF 276.41 FEET; THENCE, DEPARTING SAID EAST LINE, N89°50'59"E, A DISTANCE OF 216.81 FEET; THENCE 31.25 FEET ALONG THE WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 19, A DISTANCE OF 31.25 FEET AND CENTRAL ANGLE OF 39°55'03" CHORD BEARING S69°29'10"E, A DISTANCE OF 30.72 FEET; THENCE 10.86 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 15.00 FEET AND CENTRAL ANGLE OF 41°29'08" CHORD BEARING N41°29'08"E, A DISTANCE OF 45.38 FEET; THENCE 21.68 FEET ALONG THE WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 19; THENCE S31°56'24"E, ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 100.00 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE, N00°32'23"E, A DISTANCE OF 530.24 FEET; THENCE 44.59 FEET A DISTANCE OF 22.89 FEET; THENCE 44.59 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 62.00 FEET AND CENTRAL ANGLE OF 41°18'31" CHORD BEARING N03°31'15"W, A DISTANCE OF 43.64 FEET; THENCE 44.59 FEET ALONG THE ARC OF 45.38 FEET; THENCE 10.10 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 15.00 FEET AND CENTRAL ANGLE OF 39°19'40" CHORD BEARING N69°50'29"W, A DISTANCE OF 10.10 FEET; THENCE S89°50'59"W, A DISTANCE OF 231.59 FEET TO A POINT ON A LINE PARALLEL WITH AND 30.00 FEET NORTH OF SAID CENTERLINE, A DISTANCE OF 30.00 FEET TO SAID PARALLEL LINE, A DISTANCE OF 35.705 FEET TO A POINT ON THE CENTERLINE OF THE VACATED 30 FOOT ROAD LYING BETWEEN SAID FARM 48 AND FARM 49; THENCE N06°06'48" ALONG SAID CENTERLINE, A DISTANCE OF 530.24 FEET TO THE INTERSECTION OF SAID CENTERLINE OF SAID FARM 48 AND SAID CENTERLINE; THENCE DEPARTING SAID CENTERLINE, N00°32'23"W, ALONG SAID WEST LINE, A DISTANCE OF 66.625 FEET TO THE NORTHWEST CORNER OF SAID FARM 48; THENCE S89°54'34"E, A DISTANCE OF 66.625 FEET ALONG THE EAST LINE OF SAID FARM 48, A DISTANCE OF 645.34 FEET TO THE POINT OF BEGINNING.

CONTAINING 434,236 SQUARE FEET OR 9.969 ACRES, MORE OR LESS.

2) BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP (FEMA MAP NUMBER 12103C0202H, COMMUNITY NUMBER 120251, PANEL NUMBER 0202H REVISED AUGUST 18, 2009, THE SURVEYED PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE MAP, THE FLOOD ZONE CLASSIFICATIONS) FOR THE SURVEYED PROPERTY ARE "AE" (EL 12). FURTHERMORE, IF THE SURVEYED PROPERTY RESIDES IN TWO OR MORE ZONES, THEN THE SURVEY CLEARLY DISPLAYS THE LIMITS OF EACH ZONE BY GRAPHICALLY TRANSPOSING EACH ZONE LINE FROM THE MAP TO THE SURVEY.

20 ALL AREAS IN RECIPROCAL EASEMENT AGREEMENTS ("REAS") HAVE BEEN DENOTED ON THE SURVEY. THE LIMITS OF ANY OFFSITE APPURTENANT EASEMENTS ARE ALSO SHOWN ON THE SURVEY. THE LIMITS OF ANY AREAS OF OFFSITE APPURTENANT AND BENEFICIAL EASEMENTS TO THE SURVEYED PROPERTY ARE REPORTED, INCLUDING THE LOCATION OF ALL BUILDINGS, PARKING SPACES, AND OTHER IMPROVEMENTS THEREIN.

30 THE LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS INSURED IN THE TITLE COMMITMENT OR ANY EXCEPTIONS HAVE BEEN NOTED. THERE ARE NO GAPS, GORES, OR OVERLAP, HIATUS OR ENCROACHMENTS INHERENT TO THE SURVEY OF PARCELS 1 AND 2.

ADDITIONAL NOTES:

4. THE PROPERTY HAS DIRECT ACCESS TO 46TH STREET NORTH BEING DEDICATED PUBLIC STREET OR HIGHWAY OR INDIRECT ACCESS TO A DEDICATED PUBLIC STREET OR HIGHWAY, THROUGH CHURCH PARKING LOT UNTO US HIGHWAY 19 NORTH, BEING DEDICATED PUBLIC STREET. AS SHOWN AND ALL PARCELS WHICH COMPRISE THE WHOLE SUBJECT PREMISES ARE CONTIGUOUS

5. ALL PUBLIC ROADS, HIGHWAYS, STREETS AND ALLEYS RUNNING ADJACENT TO OR UPON THE SUBJECT PREMISES ARE SHOWN; ALL PHYSICAL EVIDENCE OF BOUNDARY LINES AND LINES OF POSSESSION OR OCCUPANCY HAVE BEEN SHOWN AND PROPER NOTATION MADE WHERE IN CONFLICT WITH THE LEGAL DESCRIPTION; THERE ARE NO BOUNDARY LINE DISCREPANCIES AND NO DEFICIENCIES IN THE QUANTITY OF THE LAND DESCRIBED IN THE LEGAL DESCRIPTION. A 0

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS: 2, 3, 4, 6(XND PZR REPORT), 7(a), 7(b), 7(c), 8, 9, 10(a), 11(a), 13, 14, 16, 17, 18, 20 AND 21, OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 01-09-2019

DATE OF MAP: 08-31-2019.

112

5000 1 11402 001 5055

SCHEDULE B SECTION PART II

4. EASEMENT IN FAVOR OF FLORIDA POWER CORPORATION RECORDED AUGUST 7, 1958 IN OFFICIAL RECORDS BOOK 391, PAGE 389. (AS TO PARCEL 2) AS PLOTTED

5. EASEMENT FOR DRAINAGE AND UTILITY PURPOSES AND RESERVATIONS FOR INGRESS AND EGRESS CONTAINED IN WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 1779, PAGE 66. (AS TO PARCEL 2) AS PLOTTED

6. EASEMENTS FOR UTILITIES, ACCESS, INGRESS AND EGRESS CONTAINED ON LOT PLANS RECORDED WITH VARIOUS AND SUNDRY LEASES (SAID LEASES NOW TERMINATED) AS ATTACHED TO THAT CERTAIN LEASE (SAID LEASE ALSO TERMINATED AND OF NO EFFECT)

7. EASEMENT IN FAVOR OF THE CITY OF PINELLAS PARK, FLORIDA RECORDED AUGUST 26, 1970 IN OFFICIAL RECORDS BOOK 3385, PAGE 627. (AS TO PARCEL 2) AS PLOTTED

8. INTERLOCAL AGREEMENT, DATED OCTOBER 23, 2000, AS AMENDED BY FIRST AMENDMENT TO AN INTERLOCAL AGREEMENT BETWEEN PINELLAS COUNTY AND THE CITY OF PINELLAS PARK RECORDED SEPTEMBER 22, 2010 IN OFFICIAL RECORDS BOOK 17036, PAGE 1616. NOT

9. MATTERS AS SHOWN ON PLAT OF BOARDWALK IN PINELLAS PARK RECORDED IN PLAT BOOK 99, PAGE 10. (AS TO PARCEL 3) AS PLOTTED

10. DISTRIBUTION EASEMENT IN FAVOR OF FLORIDA POWER CORPORATION RECORDED JANUARY 9, 1990 IN OFFICIAL RECORDS BOOK 7171, PAGE 2144. (AS TO PARCEL 3) BLANKET IN NATURE.

11. CONDITIONS AND RESTRICTIONS AS CONTAINED IN SPECIAL WARRANTY DEED RECORDED JANUARY 30, 2002 IN OFFICIAL RECORDS BOOK 11812, PAGE 1086. (AS TO PARCEL 3)

12. DECLARATION OF COVENANT CONCERNING VACATION OF ROADWAY BY TPA INVESTMENTS, LLC, A FLORIDA LIMITED LIABILITY COMPANY, RECORDED DECEMBER 21, 2009 IN OFFICIAL RECORDS BOOK 16782, PAGE 1751. (AS TO PARCEL 2) AS PLOTTED

13. PERPETUAL UTILITY EASEMENT AS RESERVED IN RESOLUTION NO. 10-22 RECORDED NOVEMBER 9, 2010 IN OFFICIAL RECORDS BOOK 17084, PAGE 1272 AS AFFECTED BY AFFIDAVIT TO INCLUDE EXHIBITS RECORDED IN OFFICIAL RECORDS BOOK 17095, PAGE 2686 AS PLOTTED

14. ORDINANCE NO. 3737 AND ORDINANCE NO. 3738 RECORDED NOVEMBER 9, 2010 IN OFFICIAL RECORDS BOOK 17084, PAGE 1277 AND OFFICIAL RECORDS BOOK 17084, PAGE 1282. NOT PLOTTABLE

15. DISTRIBUTION EASEMENT IN FAVOR OF FLORIDA POWER CORPORATION DOING BUSINESS AS PROGRESS ENERGY FLORIDA, INC., A FLORIDA CORPORATION RECORDED MARCH 11, 2015 IN OFFICIAL RECORDS BOOK 18705, PAGE 841 AS PLOTTED

16. THE INSURED "LAND" AS DEFINED BY THE POLICY SHALL NOT INCLUDE ANY MOBILE HOME WHICH MAY BE AFFIXED TO OR LOCATED ON THE LAND, AND TITLE TO ANY SUCH MOBILE HOME IS NOT INSURED (AS TO PARCEL 2).

CERTIFICATION:	FILE NO.
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I HEREBY CERTIFY THAT THIS SURVEY MAP WAS MADE UNDER MY DIRECTION ON THE DATE SHOWN HEREON AND IN ACCORDANCE BY THE STANDARD OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND

MAPPER, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES AS  
PRESCRIBED IN CHAPTER 5J-17.50 DEPARTMENT OF AGRICULTURE AND  
CONSUMER SERVICES.

BY: Enol Ayuso DATE SIGN: 08-31-2019  
 ERROL A. AYUSO, P.S.M. #5955

Curve number 1	Curve number 2	LINE TABLE (CONTIGUOUS PARCELS)
Radius= 45.00	Radius= 15.00	L1 N58°03'36"E 27.58'(D)
Delta= 39°55'03"	Delta= 41°29'08"	L2 N58°02'38"E 27.58'(D)
Ac= 31.35	Ac= 10.86	L3 S58°03'36"W 20.00'(D)
Tangent= 16.34	Tangent= 5.68	L4 S58°04'48"W 20.00'(D)
Chord Brg. 72°51'07"E	Chord Brg. 70°08'18"E	L5 N31°05'10"W 22.89'(D)
Chord Brg. S69°23'10"E	Chord Brg. S70°09'16"E	L6 N49°25'59"W 45.92'(D)
S69°02'20"E 30.57'(D)		L7 N49°30'55"W 45.92'(D)
		L8 N89°54'53"W 19.05'(D)
		L9 N89°54'34"W 30.00'(D)
Curve number 3	Curve number 4	
Radius= 62.00	Radius= 15.00	L10 S00°50'50"W 29.89'(D)
Delta= 41°12'31"	Delta= 39°19'40"	L11 S00°54'34"W 30.00'(D)
Ac= 44.85	Ac= 10.30	L12 S00°04'10"E 124.74'(D)
Tangent= 23.31	Tangent= 5.36	L13 S00°03'57"E 124.45'(D)
Chord= 43.64	Chord= 10.10	L14 S89°56'07"E 14.98'(D)
Chord Brg. N72°51'35"E	Chord Brg. N67°30'54"E	L15 S89°56'03"E 15.00'(D)
N73°35'54"E 3.62'(D)	N67°31'04"W 10.05'(D)	

LINE TABLE WETLAND '94'			LINE TABLE COND '00'			LINE TABLE WETLAND '00'		
Line	Bearing	Distance	Line	Bearing	Distance	Line	Bearing	Distance
L1	N20°48'57"E	30.36'	L1	N8°50'08"E	19.09'	L38	N58°14'17"E	
L2	N30°44'42"E	42.99'	L2	N8°50'08"E	35.49'	L39	N80°14'41"E	
L3	S50°00'07"W	74.81'	L3	N20°11'41"E	25.43'	L40	N00°00'00"E	
L4	N50°30'24"E	27.58'	L4	N10°11'41"E	95.58'			
L5	N80°50'34"W	69.27'	L5	N25°09'14"W	19.63'		DSV	
L6	S75°57'27"E	70.39'	L6	N25°09'14"W	25.43'			
L7	S60°00'18"W	62.86'	L7	S40°55'21"E	12.65'		Bearing	
L8	S75°02'00"W	21.74'	L8	S77°06'17"E	15.68'	L91	S70°46'06"E	
L9	S33°40'09"E	48.46'	L9	S30°01'21"W	32.66'	L92	S60°00'00"E	
L10	N11°06'18"E	45.49'	L10	S80°00'00"E	32.66'	L93	S10°02'34"E	
L11	N11°48'25"W	40.27'	L11	N85°15'53"E	39.26'	L94	S01°38'57"E	
L12	N23°09'07"E	60.80'	L12	N60°00'00"E	39.26'	L95	S10°00'00"E	
L13	N60°00'00"E	24.06'	L13	S85°00'00"E	18.04'	L96	S03°07'34"E	
L14	S52°23'33"E	34.78'	L14	N85°15'53"E	21.94'	L96	S00°51'40"E	
L15	N36°28'04"E	36.49'	L15	N80°00'46"W	5.37'	L97	S10°00'00"E	
L16	N36°28'04"E	36.49'	L16	S85°00'47"E	57.56'	L98	S10°33'46"E	
L17	N18°41'38"E	51.57'	L17	N85°04'44"E	62.48'	L99	S05°17'09"E	
L18	N46°46'03"E	36.22'	L18	N85°04'44"E	62.48'	L99	N00°46'46"E	
L19	N40°11'01"E	1.19'	L19	S85°00'00"E	4.41'	3121		
L20	S78°01'56"E	13.92'	L20	N89°34'07"E	1.10'	L40	N85°43'35"E	
L21	N85°11'17"E	69.30'	L21	S89°34'07"E	38.93'	L43	N00°00'37"E	
L22	S60°00'00"E	1.60'	L22	S50°13'45"E	57.38'	L44	N12°00'00"E	
L23	S71°07'55"E	71.03'	L23	N89°34'07"E	52.00'	L45	N05°23'26"W	
L24	S60°03'47"E	84.79'	L24	S60°03'47"E	84.79'			
L25	S60°03'47"E	84.79'	L25	S60°03'47"E	84.79'			
L26	S50°50'32"E	38.40'	L26	S30°58'18"W	5.79'			
L27	S41°54'22"E	56.63'	L27	S30°58'18"W	5.79'			
L28	N11°01'03"W	29.64'	L28	S00°50'38"E	30.65'			
L29	S88°14'18"W	17.39'	L29	S16°42'46"E	13.78'			
L30	N02°14'59"W	13.59'	L30	S16°42'46"E	13.78'			
L31	S31°53'39"E	428.57'	L31	S81°36'46"E	18.38'			
			L32	S81°36'35"E	4.86'			

WETLAND "A"  
70.74 Square Feet  
2.11 Acres, ±

WETLAND "C"  
86.41 Square Feet  
1.07 Acres, ±

POND "D"  
101.91 Square Feet  
0.87 Acres, ±

OSW  
998746 Square Feet  
0.11 Acres, ±

DETAIL NOT TO SCALE:  
SINGLE STORY BUILDING  
FFE = 13.2'

DETAIL NOT TO SCALE:  
FFE = 0.2'

AC

10'

130'

120'

0 15 30 60 90 120

GRAPHIC SCALE

DETAIL  
NOT TO SCALE

PDC  
NE COR  
LOT 48

PDC  
1/4  
FFE = 0.2'

SHORELINE

LEGENDS & SYMBOLS			

AL = AIR CONDITIONER  
ALU = ALUMINUM  
ASPH = ASPHALT

BFP = BACK FLOW PREVENTER  
BH = BUILDING HEIGHT  
BM = BENCH MARK  
BR = BRICK  
BR/CDL = BRICK COLUMB  
BWB = BARS WIRE FENCE

(C) = CALCULATE  
CATV = CABLE TV BOX  
CB = CATCH BASIN  
C/CB = CATCH CURB  
C/C = CONCRETE CULMIN  
C/COR = CONCRETE CORNER  
CCE = COVERED ENTRANCE  
CHW = CONCRETE HEADWALL  
CHL = CHAIN LINK FENCE  
CMP = CORRUGATED METAL PIPE  
CLE = CLEAN OUT  
CP = CONCRETE POLE  
OPT = OPTIMUM  
CSC = CONC STEPS  
C/S = CURB STOP  
C/SW = CONCRETE SIDE WALK  
CW = CONCRETE WALL  
CONC = CONCRETE  
COR = CORNER  
CXS = CROSSING STRUT

(M) = MEASURED  
MH = MANHOLE COVER  
MTL = METAL  
MES = MITERED END SECTION

O/A = OVERALL  
O/S = OVERSHANG  
OHP = OVER HEAD POWER  
OR BK. = OFFICIAL RECORD BOOK  
O/S = OFFSET  
OSW = OTHER SURFACE WATER

(P) = PLAT  
PB, PLAT = PLAT  
PC = POINT OF CURVATURE  
PCED = PINELLAS COUNTY  
PE = ENGINEERING DEPARTMENT  
PCM = PERMANENT CONTROL POINT  
PG = PAGE  
P/I = POINT OF INTERSECTION  
POB = POINT OF BEGINNING  
POC = POINT OF COMMENCEMENT  
POL = POINT ON LINE  
POP = POWER POLE  
PRC = POINT OF REVERSE CURVE  
PRM = PERMANENT REFERENCE MARKER  
PT = POINT OF TANGENT

RD = ROOF DRAIN  
RP = REINFORCED CONCRETE PIPE  
ROW = RIGHT-OF-WAY  
(REG) = RECORD  
GRG = GRADING

DE = DRAINAGE EASEMENT  
DISC = DISK

ENCL = ENCLOSURE

EDGE = EDGE OF WATER  
EP = EDGE OF PAVEMENT

FCIR = FOUND C&P IRON ROD  
FOM = FOUND CONCRETE MONUMENT  
FDP = FOUND DEPT. CONTROL  
FDH = FOUND DRILL HOLE  
FN = FOUND NAIL  
FND = FOUND  
FND/V = FOUND NAIL & DISC  
FIR/D = FOUND IRON ROD  
(FID) = FIELD  
FO = FIBER OPTICS  
FOP = FIBER OPTIC POWER CORD  
FPIP = FOUND PINCH IRON PIPE  
FPKN = FOUND PK NAIL  
FPKND = FOUND PK NAIL & DISC  
FRS = FOUND RAIL ROAD SPIKE  
GX = FOUNDED "X" CUT

GC = GRANITE CURB  
GL = GAS LINE

HDPF = HIGH DENSITY POLYURETHANE PIPE  
HWP = HOG WRE FENCE

LP = LIGHT POLE

SCR 3/8" = 3/8" C&P IRON ROD  
SCM = SET CONCRETE MONUMENT  
WITH DISC NO. #7101

SCR = SCREENED  
SE = SEWER EASEMENT  
SWP, TWP, RND = SECTION, TOWNSHIP & RANGE

SH = SHED  
SPKD = SET PK NAIL AND DISC  
NO. #7101

STDP = STRADDLE POINT  
SWC = SET WITNESS CORNER

TS = TRAFFIC SIGNAL  
TOB = TOP OF BANGK

UG = UTILITY EASEMENT  
UGL = UTILITY LOWER  
UGU = UTILITY UPPER

VF = VINYL FENCE  
VG = VALLEY GUTTER

W = WATER  
WB = WATER BOX  
WC = WITNESS CORNER  
WE = WATER EASEMENT  
WF = WOOD FENCE  
WHP = WOOD POWER POLE  
WS = WOOD STEPS  
WV = WATER VALVE  
WW = WING WALL

**SURVEYORS' NOTES:**

1) SEE LEGEND FOR SYMBOLS AND/OR ABBREVIATIONS USED HEREON.

2) THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE SEARCH PREPARED BY FIDELITY INVESTMENT TITLE INSURANCE COMPANY ORDER NO. 726176 EFFECTIVE DATE: 09/25/2018 AT 5:00 A.M.

3) NO INSTRUMENTS OF RECORD REFLECTING OWNERSHIP, EASEMENTS OR RIGHT-OF-WAY WERE FURNISHED TO THE UNDERSIGNED, UNLESS OTHERWISE SHOWN HEREON.

4) NO UNDERGROUND FOUNDATIONS, STRUCTURES, INSTALLATION OR IMPROVEMENTS HAVE BEEN LOCATED UNLESS OTHERWISE SHOWN HEREON.

5) THIS SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

6) THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT OR MAP THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

7) UNITS OF MEASUREMENT ARE IN FEET OR DECIMAL OF A FOOT UNLESS OTHERWISE INDICATED.

8) VERTICAL INFORMATION OBTAIN FROM FDOT BENCHMARK, DESIGNATION: BM# 56. ELEV = 146.62 FEET N.A.S.D. 88, STATE RECORD 13150-1616 AND AS SHOWN HEREON.

BM#1 = 1324', FRRS, SOUTHEAST CORNER OF ACCESS BRIDGE INTO GATOR MOBILE HOME PARK.

BM# 2 = 1181' FOUND NAIL AND TAB EAST OF THE NORTHEAST CORNER OF GATOR MOBILE HOME PARK.

BM#3 = 900', FOUND 4'x4' CONCRETE MONUMENT, LB #938 PRM, SOUTHWEST PROPERTY CORNER OF VACANT LOT.

<b>CERTIFICATION:</b> I HEREBY CERTIFY THAT THIS SURVEY MAP WAS MADE UNDER MY DIRECTION ON THE DATE SHOWN HEREON AND IN ACCORDANCE WITH THE STANDARD OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.022 OF THE FLORIDA STATUTES AS PRESCRIBED IN CHAPTER 5J-17.50 DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. BY: <u>Errol Ayuso</u> DATE SIGN: <u>08-31-2019</u> <b>ERROL A. AYUSO, P.S.M. #5955</b>	FIELD CREW EA CM FA CMJ	REVISIONS		CERTIFIED TO:				FLOOD ZONE: "AE" (EL: 12')	AYUSO SURVEYING, INC. D/B/A ERROL A. AYUSO
	SURVEY FIELD DATE: 01-09-2019	DATES	COMMENTS	BELLEAIR DEVELOPMENT, LLC	BOUNDARY SURVEY	BELLEAIR DEVELOPEMT, LLC SURVEY		COMMUNITY PANEL No. 120251-0202H	PROFESSIONAL SURVEYORS & MAPPERS PSM #5955
	DRAWN BY: EAA			PRESTON O COCKEY, JR., P.A.				DATED: 08/18/2009	10170 11TH STREET NORTH UNIT# 105
	CHECK BY: EAA			FIDELITY NATIONAL TITLE INSURANCE COMPANY				INFORMATION SHOWN HEREON BY NO MEANS REPRESENT A DETERMINATION ON WHETHER PROPERTIES WILL OR WILL NOT FLOOD. LAND WITHIN THE BOUNDARIES OF THIS PLAT MAY OR MAY NOT BE SUBJECT TO FLOODING.	ST. PETERSBURG, FLORIDA 33716
	PROJECT NUMBER: 18067P11-1							727-528-2399 OR 528-1839, FAX 727-528-2038	E-MAIL AYUSOSURVEYING@YAHOO.COM

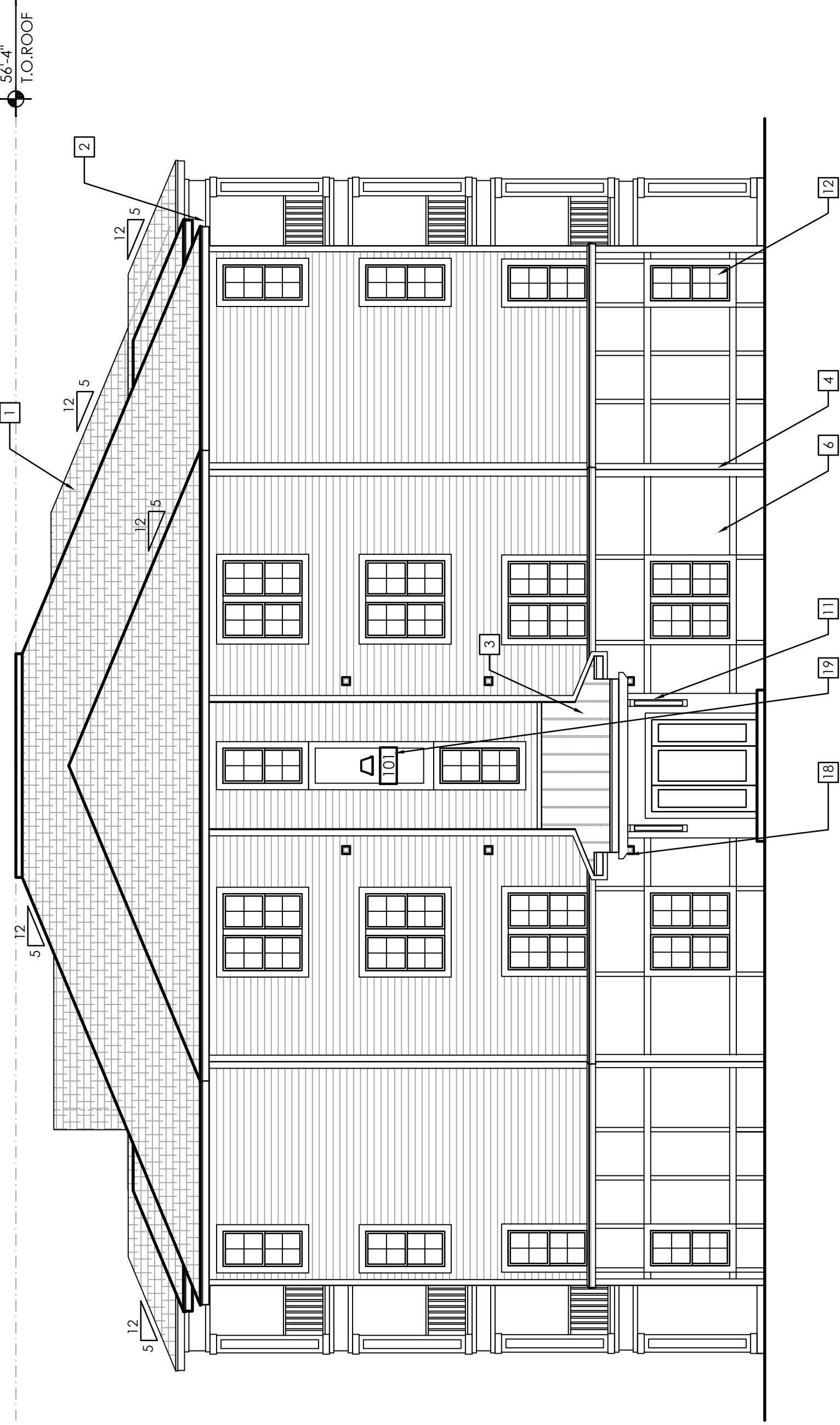






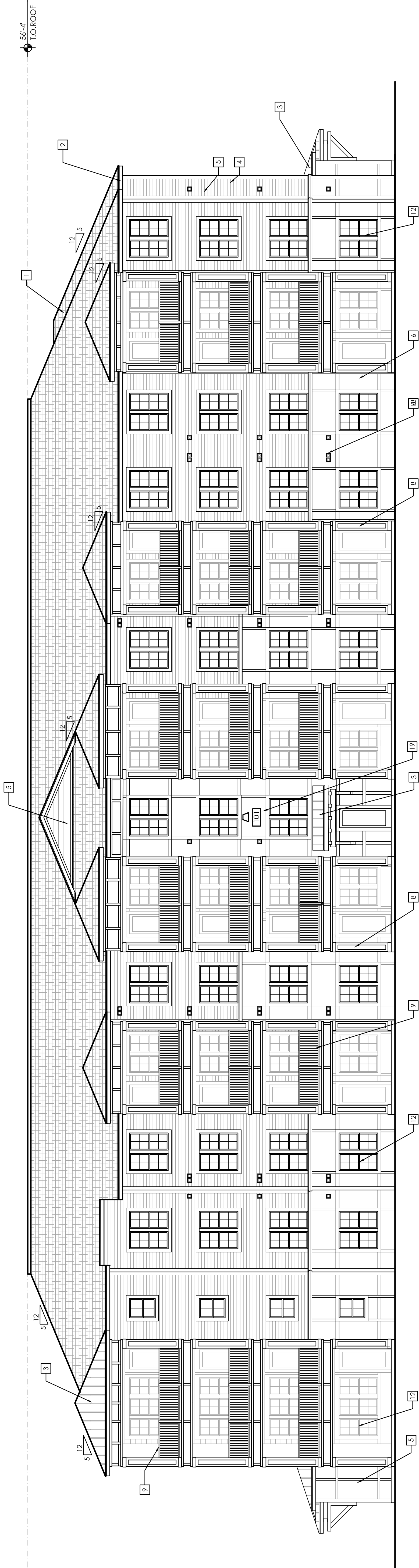






RIGHT ELEVATION

SCALE: 1/8"=1'-0"



## FRONT ELEVATION

BUILDING TYPE I

TYPICAL ELEVATION NOTES		
A.	REFER TO ENLARGED ELEVATIONS FOR A TYPICAL DETAIL MARKERS.	
B.	ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN MOUNTED ANGLE.	
C.	UNFINISHED EQUIPMENT, PANELS, ETC., SHALL BE FINISHED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS. CONTRACTOR SHALL SUBMIT METHOD OF FINISHING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.	
D.	EXTERIOR CLADDING - FINISH BUILDINGS TO BE WEATHERED WITH BUILDING WRAP, INSULATION AND OUTSIDE CORNERS TO BE OVERLAPPED 12 INCHES ON EACH FACE. 24 INCHES TOTAL. REFER TO DETAILS AT A2.31 FOR MILING AND OVERLAP DETAILS.	
E.	PROVIDE SILICONE SEALANT AT ALL JOINTS ASSOCIATED WITH WINDOW CURTAIN WALLS INCLUDING CONTROL JOINTS AND TRANSOM JOINTS TO PREVENT LEAKAGE.	
F.	STAR RAIS AND GUARDS TO BE STEEL.	
G.	ALL FINISH GRADE SHALL BE MINIMUM 8' BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.	
H.	PROVIDE SILICONE SEALANT AT ALL CORNERS. REFER TO DETAILS ON SHEET A2.31 FOR CORNER DETAILS.	
I.	PROVIDE SILICONE SEALANT W/BOND BREAKER TO PREVENT BANDS OF ADHESION AT TOP OF HORIZONTAL BUILDINGS.	
J.	PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES. EXTERIOR WALL TO "SOFTEN" AND CEILING CONDITIONS ETC.	
K.	PROVIDE POSITIVE SLOPE 1/2" AT TOP OF HORIZONTAL PROJECTIONS. TYPICAL "SHOULDER" BLOCK AT EACH DOWNSPOUT.	
L.	CLADDING SYSTEM SHALL BE SEALED AGAINST POTENTIAL WATER INTRUSION. REFER TO A2.42 FOR DETAILS.	
M.	EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS. TYP.	
N.	LAP SODGING SHALL BE LAPPED A MINIMUM OF 1-1/4 INCHES AND SHALL HAVE THE ENDS SEALED WITH CAULKING.	
O.	REFER TO SHEET A2.28 FOR BUILDING WRAP INSTALLATION COVERED WITH A SECTION OF JOINT COVER OR LOCATED UNDER A STRIP OF FLASHING.	
P.	PROVIDE SUFFICIENT BUCKING AT ALL BRACKET ATTACHMENTS. CONFIRM WITH SHOP DRAWINGS.	
Q.	ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC.; COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.	
R.	■■■■■ INDICATES GUTTER AND DOWNSPOUT SEE SHEET A2.31 FOR DETAILS.	
S.	CONTROL JOINTS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR. SEE DETAILS.	
T.	REFER TO SHEET A2.41 FOR WATERPROOFING OF ALL EXTERIOR WALL PENETRATIONS.	
U.	ALL EXTERIOR RUNNING TRIM TO BE 5/4" x HARDI PLANK OR APPROVED EQUAL UNJO.	
V.	ALL UNIT BALCONIES SHALL HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.	
W.	LATH TO BE BROKEN AT CONTROL JOINT ACCESSORIES.	

KEY NOTES			
1	30 YEAR ARCHITECTURAL STYLE SHINGLES, 1/2" MIN. THICK, 12" X 18" OR LARGER, OVER PRE-ENGINEERED ROOF TRUSSES	8	FIBER CEMENT CLAD COLUMN
2	METAL TRIP EDGE ON ALUMINUM WRAPPED TREATED 1X3 ON TREATED 2X8 FASCIA BOARD WITH ALUMINUM GUTTER PER ROOF PLAN	9	ALUMINUM GUARD- RAIL SYSTEM
3	STANDING SEAM METAL ROOF	10	DECORATIVE BRACKET - FIPON OR EQUAL
4	FIBER CEMENT TRIM OVER BUILDING WRAP ON EXTERIOR SHEATHING	11	BRACKETS
5	6" FIBER CEMENT LAP SIDING OVER BUILDING WRAP ON EXTERIOR SHEATHING	12	VINYL WINDOWS
6	FIBER CEMENT PANEL	13	STOREFRONT WINDOW SYSTEM
7	3 COAT THICK SMOOTH FINISH STUCCO SYSTEM ON METAL LATH ON 60 ML PAPER OVER BLDG. WRAP ON EXTERIOR SHEATHING	14	ALUMINUM STANDARD GUTTER (TYP.)
		15	ALUMINUM STANDARD DOWNSPOUT (TYP.)
		16	EXTERIOR LIGHT FIXTURE
		17	GARAGE DOOR
		18	DRYER BATH VENTS COORDINATE WITH WAFER CONTRACTOR TO PERFORM LAYOUT CHECKS AND LOCATE AREAS WHERE VENT PIPING AND ASSOCIATED WALL MOUNTED APPLIANCE, PIPING OR EQUIPMENT WILL PENETRATE OR BE MOUNTED TO WALL CLADDING, EFFECTING EXTERIOR WALL ZONES. WALL MOUNTED APPLIANCE AND PENETRATIONS SHALL NOT INTERFERE OR INTERSECT BUILDING CORNERS AND TRIM, AND ALL ACCESS ON ROOF OR EXTERIOR SURFACES SHALL BE WITHIN 10' OF UNITS. BUILDING SIGN/ W EXT. LIGHT FIXTURE ELECTRICAL METERS PER DETAIL 16/AT 45 - COORDINATE W/ MEP CONTRACTOR. SITES AND LOCATION PRIOR INSTALLATION.

## TYPICAL ELEVATION NOTES

A. REFER TO ENLARGED ELEVATIONS FOR A TYPICAL DETAIL MARKERS.

B. EXTERIOR WALLS MUST BE PROPERLY FLANGED AND/OR SEALED THROUGHOUT THROUGH EXTERIOR SILL SHALL BE SET IN BED OF SEALANT.

C. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE PROPERLY FLANGED AND/OR SEALED THROUGHOUT THROUGH EXTERIOR SILL SHALL BE SET IN BED OF SEALANT.

D. IF SQUANCHING OF CONSTRUCTION JOINTS OCCURS PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR REVIEW.

E. TYPICAL EXTERIOR CLADDING - ENTIRE BUILDING TO BE WRAPPED WITH BUILDING WRAP - INSIDE AND OUTSIDE CORNERS TO BE OVERLAPPED 12 INCHES ON EACH FACE. 24 HOUR DRY TIME TO DETAILS AT 72°F FOR SEALING AND OVERLAP DETAILS.

F. PROVIDE SEALANT SEALANT AT ALL JOINTS ASSOCIATED WITH MASONRY VENEER INCLUDING CONTROL JOINTS AND

G. STAR RAILS AND GUARDS TO BE STEEL.

H. ALL FINISH GRADE SHALL BE MINIMUM 6" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.

I. CORNERS, REFER TO DETAILS ON SHEET A2.31 FOR CORNER DETAILS.

J. PROVIDE 3-SIDED ADHESIVE AT TOP OF HORIZONTAL BUILDING SUBSTRATE. SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.

K. PROVIDE 12" x 12" AT TOP OF HORIZONTAL CLADDING SYSTEM.

L. EXTERIOR CLADDING AND PENETRATION THRU THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL EXTERIOR WATER PENETRATION.

M. EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS, TYP.

N. LAP SIDING SHALL BE ENDED A MINIMUM OF 1-1/4 INCHES AND SHALL HAVE THE ENDS SEALED WITH CAULKING.

O. REFER TO SHEET A2.31 FOR BUILDING WRAP INSTALLATION PRACTICES AT DOORS AND WINDOWS.

P. EXTERIOR WALLS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR SEAM DETAILS.

Q. EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC.: COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT. COORDINATES GUTTER AND DOWNSPOUT LOCATIONS. PROVIDE FLASH BLOCK AT EACH DOWNSPOUT. SEE SHEET A2.31 FOR DETAILS.

R. EXTERIOR SEAM DETAILS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR WALL PENETRATIONS.

S. REFER TO SHEET A2.31 FOR WATERPROOFING OF ALL EXTERIOR WALL PENETRATIONS.

## KEY NOTES

SCALE: 1/8"=1'-0"

[illegible]

## BUILDING TYPE I

## ELEVATIONS


date: 03.28.2019

job no: 4157.19 ☐

drawn by: **RRO**

file: 4157A21

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The logo for Charlan • Brock Associates features the lowercase letters 'c', 'b', and 'd' each inside a black circle, arranged horizontally. Below this, the text 'charlan • brock' is written in a lowercase sans-serif font, followed by 'associates' in a smaller, all-caps sans-serif font.architects  
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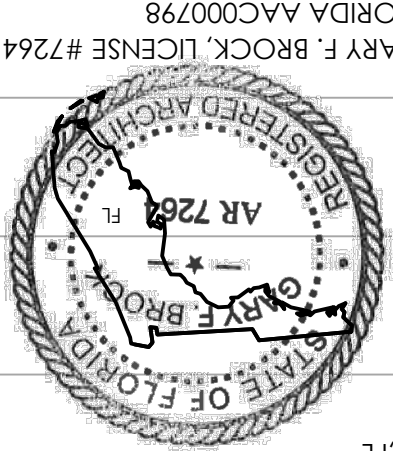
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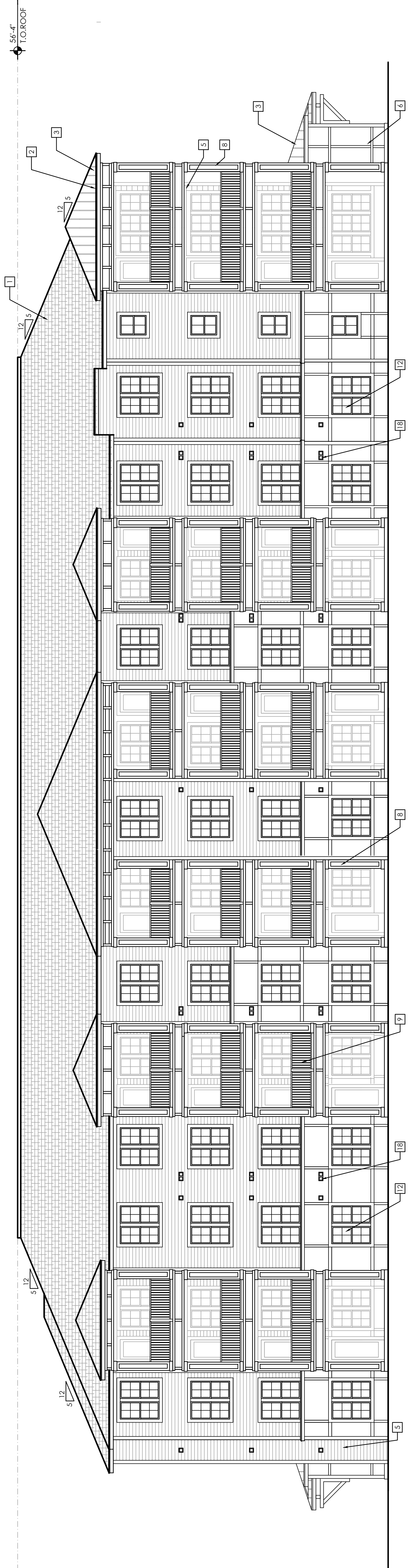
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FLORIDA AAC000798





## REAR ELEVATION

SCALE: 1/8"=1'-0"

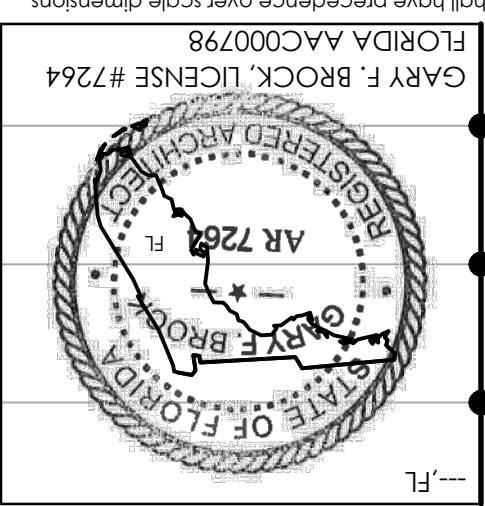
## TYPICAL ELEVATION NOTES

- [illegible]

## KEY NOTES

- |   |   |    |                                      |    |  |
|---|---|----|--------------------------------------|----|--|
| 1 | 30 YEAR ARCHITECTURAL STYLE SHINGLES, OVER 30 LB/FT. LVL. OVER ROOF SHEATHING, OVER PER-ENGINEERED ROOF TRUSSES | 8  | FIBER CEMENT CLAD COLUMN             | 18 | DRYER, BATH VENTS, COORDINATE W/MPF. CONTRACTOR TO PERFORM LAYOUT CHECKS AND LOCATE AREAS WHERE VENT PIPES AND ASSOCIATED WALL-MOUNTED APPURTENANCE, PIPING, ETC. MAY BE REQUIRED TO BE MOUNTED TO WALL CLADDING, EFFECTING EXTERIOR WALL ZONES, WALL MOUNTED APPURTENANCE AND PENETRATIONS SHALL NOT INTERFERE OR INTERSECT BUILDING CORNERS AND TRIM, SURROUNDING TRIMS OR CONTROL JOINTS, BUILDING SIGN W/ EXT. LIGHT FIXTURE |
| 2 | METAL Drip EDGE ON ALUMINUM WRAPPED TREATED 1X3 ON TREATED 2X8 FASCIA BOARD WITH ALUMINUM GUTTER PER ROOF PLAN  | 9  | ALUMINUM GUARD-RAIL SYSTEM           | 19 | 16/47 AS-5. COORDINATE W/ MPF. CONTRACTOR TO V.I.E. SIZES AND LOCATION PRIOR INSTALLATION.   |
| 3 | STANDING SEAM METAL ROOF  | 10 | DECORATIVE BRACKET - PYPON OR EQUAL. | 20 |  |
| 4 | FIBER CEMENT TRIM OVER BUILDING WRAP ON EXTERIOR SHEATHING  | 11 | BRACKETS                             |    |  |
| 5 | 6" FIBER CEMENT LAP SIDING OVER BUILDING WRAP ON EXTERIOR SHEATHING   | 12 | VINYL WINDOWS                        |    |  |
| 6 | FIBER CEMENT PANEL  | 13 | STOREFRONT WINDOW SYSTEM             |    |  |
| 7 | 3 COAT THICK SMOOTH FINISH ON EXTERIOR WALL, WRAP WITH ON ROYAL PAPER OVER BLDG. WRAP ON EXTERIOR SHEATHING     | 14 | ALUMINUM STANDARD GUTTER (TYP.)      |    |  |
|   |   | 15 | ALUMINUM STANDARD DOWNSPOUT (TYP.)   |    |  |
|   |   | 16 | EXTERIOR LIGHT FIXTURE               |    |  |
|   |   | 17 | GARAGE DOOR                          |    |  |





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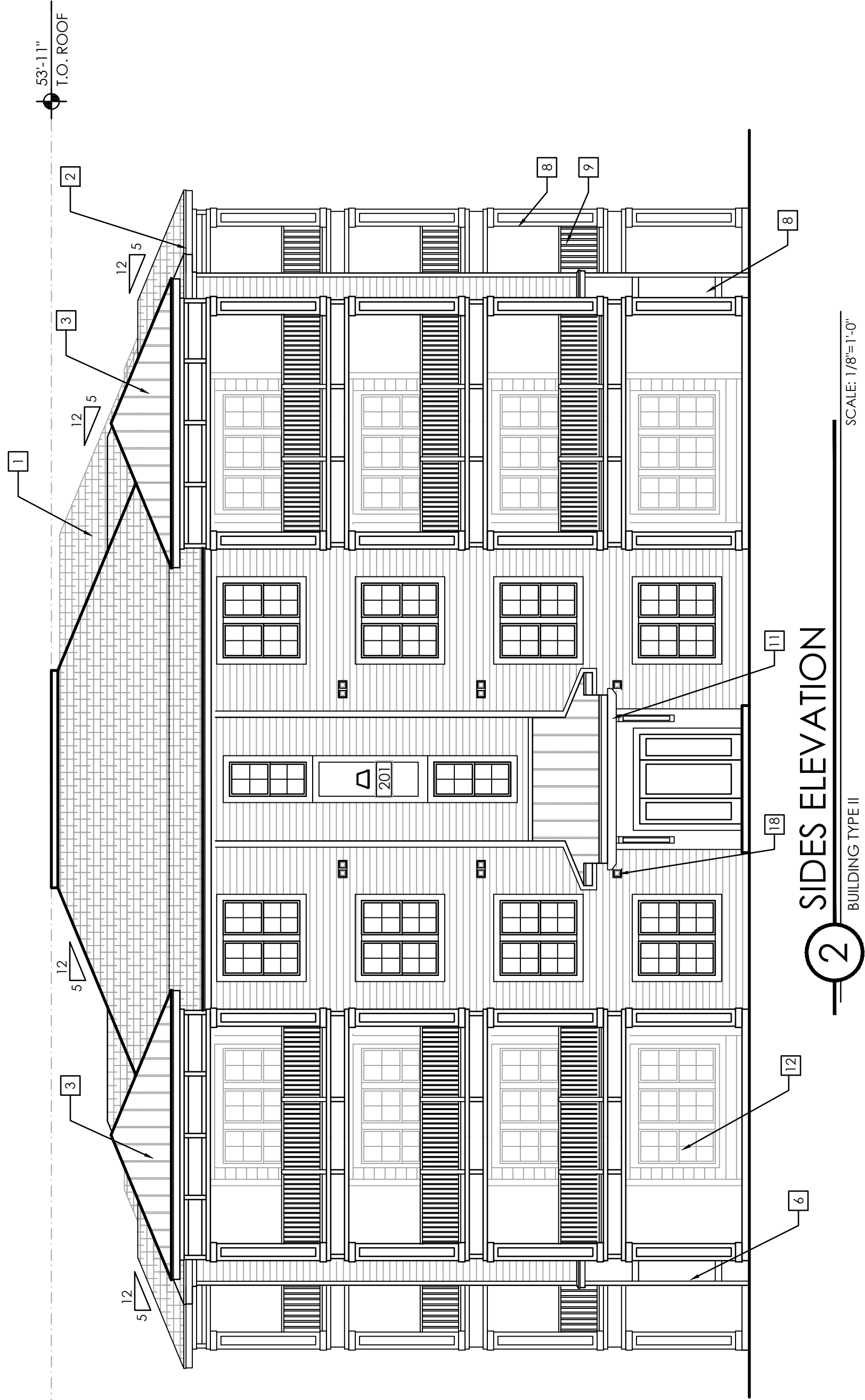
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BUILDING TYPE II  
ELEVATIONS

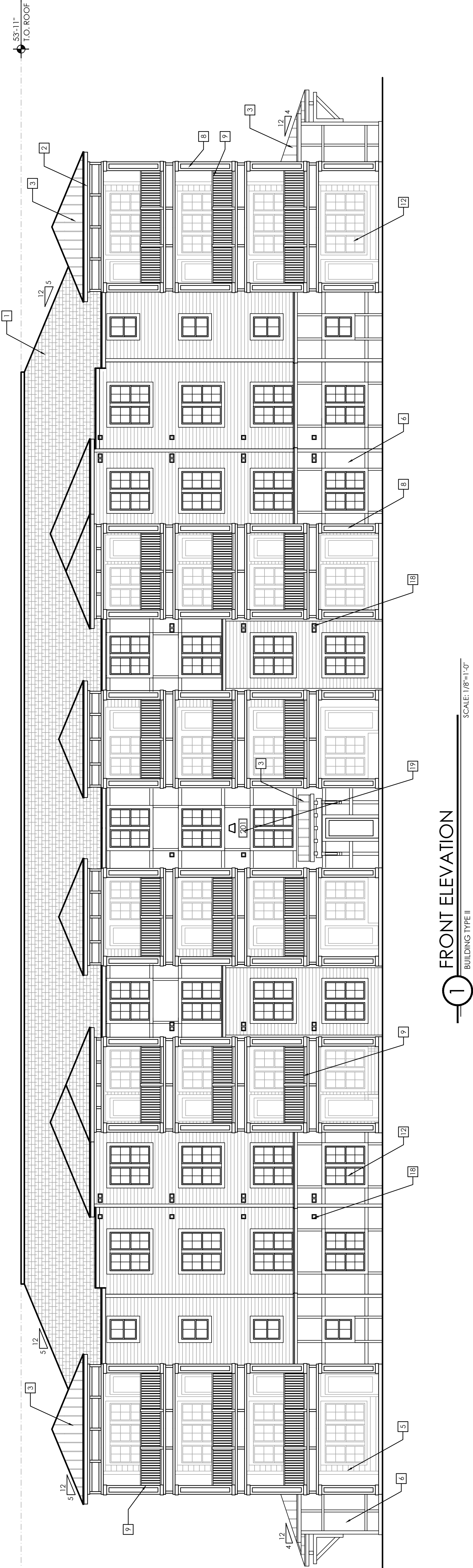
date: 03.28.2019  
job no: 4157.19  
drawn by: RRO  
reviewed by: CBA  
file: 4157A221  
issue history:

A2.21



## 2 SIDES ELEVATION

SCALE: 1/8"=1'-0"



## 1 FRONT ELEVATION

SCALE: 1/8"=1'-0"

### TYPICAL ELEVATION NOTES

- REFER TO ENLARGED ELEVATIONS FOR A TYPICAL DETAIL.
- MARKERS, ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
- ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE SOUNDED AFTER EXTERIOR SURFACES ARE PAINTED. IF SOUNDING IS NOT SATISFACTORY, THE CONTRACTOR SHALL PROVIDE PROTECTION AGAINST CORROSION. THE CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
- EXTERIOR CLADDING - ENTIRE BUILDING TO BE WRAPPED WITH BUILDING WRAP, INSIDE AND OUTSIDE CORNERS TO BE OVERLAPPED 12 INCHES ON EACH FACE. 24 INCHES TOTAL. REFER TO DETAILS AT A2.21 FOR NAILING AND CLADDING SYSTEM. MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION. REFER TO A2.4E FOR DETAILS.
- PROVIDE SILICONE SEALANT AT ALL JOINTS ASSOCIATED WITH MASONRY VENEER, INCLUDING CONTROL JOINTS AND WINDOW/DOOR PERIMETERS.
- STAIR RAILS AND GUARDS TO BE STEEL.
- ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SHALL HAVE ENDS SEALED WITH CALSING.
- PROVIDE SILICONE SEALANT AT ALL CORNERS. REFER TO DETAILS ON SHEET A2.31 FOR CORNER DETAILS.
- PROVIDE SILICONE SEALANT W/ BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP OF HORIZONTAL BUILDING JOINTS.
- PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES. EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.
- PROVIDE POSITIVE SLOPE 1:2 AT TOP OF HORIZONTAL ROOF JOINTS. PROVIDE FLASH BLOCKS AT EACH DOWNSPOUT.
- ALL ATTACHMENT AND PENETRATION THRU THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION. REFER TO A2.4E FOR DETAILS.
- EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS. TYP.
- LAP SIDING SHALL BE LAPPED A MINIMUM OF 1 1/4 INCHES AND SHALL HAVE ENDS SEALED WITH CALSING.
- ALL EXTERIOR RUNNING TRIM TO BE 5/4 X HARD PLANK OR APPROVED EQUAL UNLESS OTHERWISE SPECIFIED.
- ALL EXTERIOR JOINT COVER OR LOCATED OVER A STRIP OF FLASHING.
- REFER TO SHEET A2.20 FOR BUILDING WRAP INSTALLATION PRACTICES AT DOORS AND WINDOWS.
- PROVIDE SILICONE BLOCKING AND FLASHING AT ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC. ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC. COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
- LOCATIONS - PROVIDE FLASH BLOCKS AT EACH DOWNSPOUT.
- CONTROL JOINTS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR. SEE DETAILS AT A2.31 FOR DETAILS.
- EXTERIOR JOINTS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR. SEE DETAILS AT A2.31 FOR DETAILS.
- EXTERIOR JOINTS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR. SEE DETAILS AT A2.31 FOR DETAILS.

### KEY NOTES

- | #  |  |
|----|--|
| 1  | 30 YEAR ARCHITECTURAL STYLE SHINGLES. OVER 30 LBS TELL OVER ROOF SHEATHING. OVER PRE-ENGINEERED ROOF TRUSSES.  |
| 2  | METAL DRIP EDGE ON ALUMINUM WRAPPED WEATED 1X3 ON TREATED 2X8 PASCIA BOARD   |
| 3  | STANDING SEAM METAL ROOF   |
| 4  | FIBER CEMENT TRIM OVER BUILDING WRAP ON EXTERIOR SHEATHING   |
| 5  | 6" FIBER CEMENT LAP SIDING OVER WRAP ON EXTERIOR SHEATHING   |
| 6  | FIBER CEMENT PANEL   |
| 7  | 3 COAT THICK SMOOTH FINISH STUCCO SYSTEM ON METAL LATH ON 60 ML. PAPER OVER BLDG. WRAP ON EXTERIOR SHEATHING   |
| 8  | FIBER CEMENT CLAD COLUMN   |
| 9  | ALUMINUM GUARD - RAIL SYSTEM   |
| 10 | DECORATIVE BRACKET - FYPON OR EQUAL  |
| 11 | BRACKETS   |
| 12 | VINYL WINDOWS  |
| 13 | STOREFRONT WINDOW SYSTEM   |
| 14 | ALUMINUM STANDARD GUTTER (TYP.)  |
| 15 | ALUMINUM STANDARD DOWNSPOUT (TYP.)   |
| 16 | EXTERIOR LIGHT FIXTURE   |
| 17 | GARAGE DOOR  |
| 18 | DRYER/ BATH VENTS COORDINATE WITH CONTRACTOR TO PERFORM WALL MOUNTED APPURTENANCE, PIPING OR EQUIPMENT WILL PENETRATE OR BE MOUNTED TO WALL CLADDING. EFFECTING EXTERIOR WALL ZONES. WALL PENETRATIONS SHALL NOT INTERFERE OR INTERSECT BUILDING CORNERS AND TRIM. WALL AREA ACCENT OR WINDOW SURROUNDING TRIMS OR CONTROL JOINTS. BUILDING SIGN/ W EXT. LIGHT FIXTURE ELECTRICAL METERS PER DETAIL 16/A7.45 - COORDINATE W/ MEP CONTRACTOR TO VLT. SIZES AND LOCATION PRIOR INSTALLATION. |
| 19 |  |
| 20 |  |



TYPICAL ELEVATION NOTES

- A. REFER TO ENLARGED ELEVATIONS FOR A TYPICAL DETAIL MARKERS. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.

B. SEALANT MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.

C. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE LOCATED AFTER EXTERIOR CLADDING IS APPLIED AND FINISHED. IF SEPARATE ELEVATIONS ARE SUBMITTED, THE CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.

D. EXTERIOR CLADDING - ENTIRE BUILDING TO BE WRAPPED WITH BUILDING WRAP, INSIDE AND OUTSIDE CORNERS TO BE OVERLAPPED 12 INCHES ON EACH FACE. 24 INCHES TOTAL. REFER TO DETAILS AT A2.21 FOR NAILING AND PROVIDE SILICONE SEALANT AT ALL JOINTS ASSOCIATED WITH MASONRY VENER, INCLUDING CONTROL JOINTS AND WINDOW/DOOR PERIMETERS.

E. PROVIDE SILICONE SEALANT AT ALL JOINTS ASSOCIATED WITH EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS, TYP.

F. STAIR RAILS AND GUARDS TO BE STEEL.

G. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR GRADE. FINISH GRADE SHALL BE PROPERLY FLASHED AND/OR SEALED. PROVIDE SILICONE SEALANT AT ALL CORNERS. REFER TO DETAILS ON SHEET A2.21 FOR CORNER DETAILS.

H. PROVIDE SILICONE SEALANT W/ BOND BREAKER (TO PREVENT 3 SIDED ADHESION) AT TOP OF HORIZONTAL BUILDING SUBSTRATES. EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.

I. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES. EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.

J. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES. EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.

K. PROVIDE POSITIVE SLOPE 1:24 AT TOP OF HORIZONTAL CLADDING SYSTEM. PROVIDE FLASH BLOCKS AT EACH DOWNSPOUT. ALL ATTACHMENT AND PENETRATION THRU THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION. REFER TO A2.42 FOR DETAILS.

L. PROVIDE SEALANT AT ALL JOINTS ASSOCIATED WITH EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS, TYP.

M. PROVIDE SEALANT AT ALL JOINTS ASSOCIATED WITH EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS, TYP.

N. LAP SIDING SHALL BE LAPPED A MINIMUM OF 1 1/4 INCHES AND SHALL HAVE ENDS SEALED WITH CAULKING. EXTERIOR WALLS SHALL HAVE STRUCTURAL FLOOR SYSTEM OVER A STRIP OF FLASHING.

O. REFER TO SHEET A2.20 FOR BUILDING WRAP INSTALLATION PRACTICES AT DOORS AND WINDOWS.

P. PROVIDE SILICONE SEALANT W/ BOND BREAKER (TO PREVENT 3 SIDED ADHESION) AT TOP OF HORIZONTAL BUILDING SUBSTRATES. EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.

Q. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES. EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.

R. PROVIDE POSITIVE SLOPE 1:24 AT TOP OF HORIZONTAL CLADDING SYSTEM. PROVIDE FLASH BLOCKS AT EACH DOWNSPOUT. ALL ATTACHMENT AND PENETRATION THRU THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION. REFER TO A2.42 FOR DETAILS.

S. PROVIDE SEALANT AT ALL JOINTS ASSOCIATED WITH EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS, TYP.

T. PROVIDE SEALANT AT ALL JOINTS ASSOCIATED WITH EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS, TYP.

U. ALL EXTERIOR RUNNING TRIM TO BE 5/4 x HARD PLANK OR APPROVED EQUAL UNO.

V. SLOPED AWAY FROM UNIT FOR DRAINAGE.

W. LATH TO BE BROKEN AT CONTROL JOINT ACCESSORIES.

#	KEY NOTES	#	KEY NOTES
1	30 YEAR ARCHITECTURAL STYLE SHINGLES. OVER 30 LBS TELL OVER ROOF SHEATHING. OVER PRE-ENGINEERED ROOF TRUSSES.	8	FIBER CEMENT CLAD COLUMN
2	METAL DRIP EDGE ON ALUMINUM WRAPPED WEATED 1X3 ON TREATED 2X8 PASCIA BOARD WRAPPED WITH 30 MIL. PAPER OVER BLDG. WRAP ON EXTERIOR SHEATHING.	9	ALUMINUM GUARD - RAIL SYSTEM
3	STANDING SEAM METAL ROOF	10	DECORATIVE BRACKET - FYPON OR EQUAL.
4	FIBER CEMENT TRIM OVER BUILDING WRAP ON EXTERIOR SHEATHING.	11	BRACKETS
5	6" FIBER CEMENT LAP SIDING OVER SHEATHING.	12	VINYL WINDOWS
6	FIBER CEMENT PANEL	13	STOREFRONT WINDOW SYSTEM
7	3 COAT THICK SMOOTH FINISH STUCCO SYSTEM ON METAL LATH ON 60 MIL. PAPER OVER BLDG. WRAP ON EXTERIOR SHEATHING.	14	ALUMINUM STANDARD GUTTER (TYP.)
		15	ALUMINUM STANDARD DOWNSPOUT (TYP.)
		16	EXTERIOR LIGHT FIXTURE
		17	GARAGE DOOR
		18	DRYER/ BATH VENTS COORDINATE WITH/ CONTRACTOR TO PERFORM. WALL MOUNTED APPURTENANCE, PIPING OR EQUIPMENT WILL PENETRATE OR BE MOUNTED TO WALL CLADDING. EFFECTING EXTERIOR WALL ZONES. WALL PENETRATIONS SHALL NOT INTERFERE OR INTERSECT BUILDING CORNERS AND TRIM. WALL AREA ACCENT OR WINDOW SURROUND TRIMS OR CONTROL JOINTS. ELECTRICAL METERS PER DETAIL 16/A7.45 - COORDINATE W/ MEP. CONTRACTOR TO V.L.T. SIZES AND LOCATION PRIOR INSTALLATION.

date: **03.28.2019**  
job no: **4157.19**  
drawn by: **RRO**  
reviewed by: **CBA**  
file: **4157A222**  
issue history:

ELEVATIONS

BUILDING TYPE II

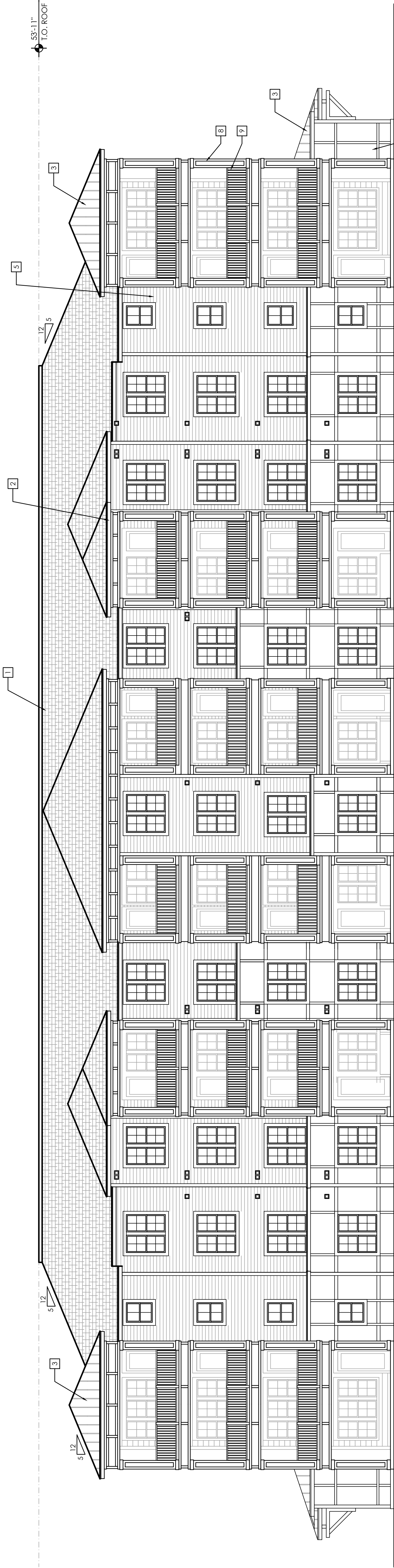
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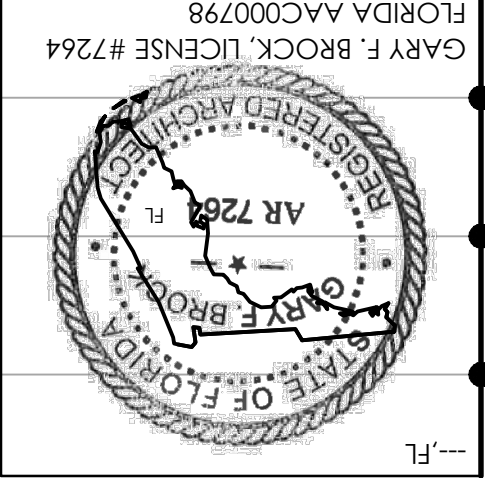
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CLEARWATER, FL



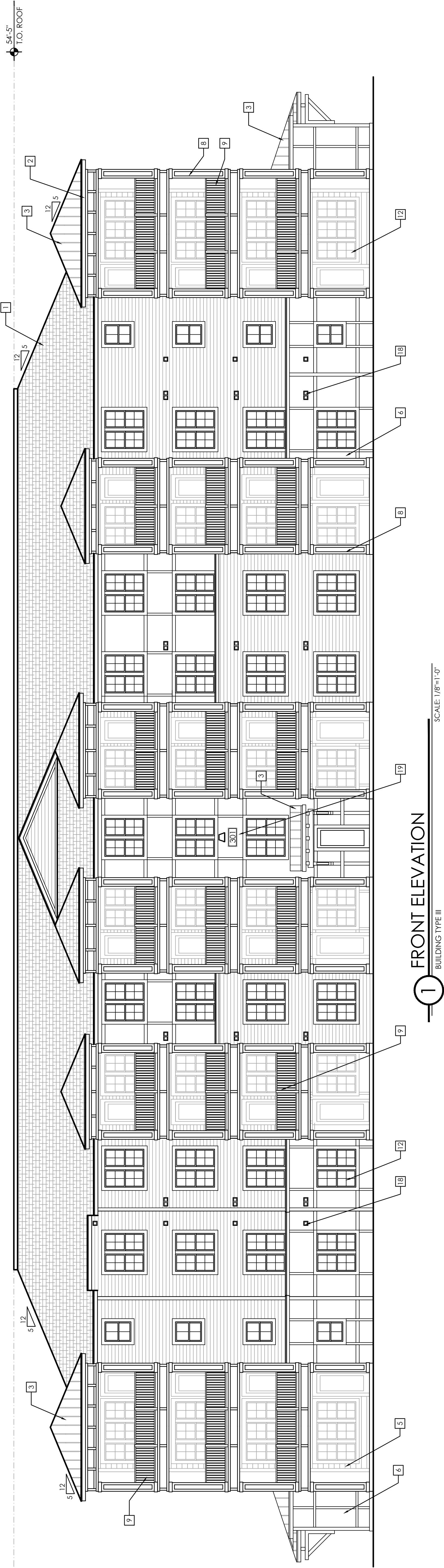
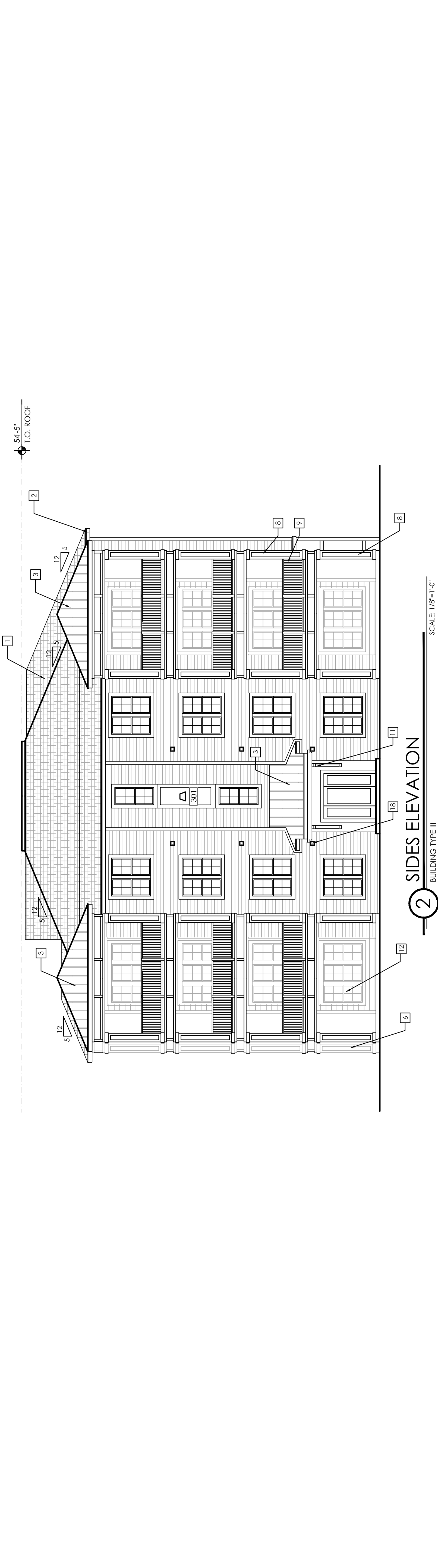
1 REAR ELEVATION

BUILDING TYPE II

SCALE: 1/8"=1'-0"







#	KEY NOTES
1	30 YEAR ARCHITECTURAL STYLE SHINGLES, OVER 30 LBS TELL, OVER ROOF SHEATHING, OVER PRE-ENGINEERED ROOF TRUSSES.
2	METAL DRIP EDGE ON ALUMINUM WRAPPED WEATED 1X3 ON TREATED 2X8 PASCIA BOARD EQUAL.
3	STANDING SEAM METAL ROOF.
4	FIBER CEMENT TRIM OVER BUILDING SHEATHING.
5	6 FIBER CEMENT LAP SIDING OVER WRAP ON EXTERIOR SHEATHING.
6	FIBER CEMENT PANEL.
7	3 COAT THICK SMOOTH FINISH STUCCO SYSTEM ON METAL LATH ON 60 ML. PAPER OVER BLDG. WRAP ON EXTERIOR SHEATHING.
8	FIBER CEMENT CLAD COLUMN.
9	ALUMINUM GUARD - RAIL SYSTEM DECORATIVE BRACKET - FYPON OR EQUAL.
10	BRACKETS.
11	VINYL WINDOWS.
12	STOREFRONT WINDOW SYSTEM.
13	ALUMINUM STANDARD GUTTER (TYP.)
14	ALUMINUM STANDARD DOWNSPOUT (TYP.)
15	ALUMINUM STANDARD DOWNSPOUT (TYP.)
16	EXTERIOR LIGHT FIXTURE.
17	GARAGE DOOR.
18	DRYER/ BATH VENTS COORDINATE W/MEP. CONTRACTOR TO PERFORM. WALL MOUNTED APPURTENANCE, PIPING OR EQUIPMENT WILL PENETRATE OR BE MOUNTED TO WALL CLADDING. EFFECTING EXTERIOR WALL ZONES. WALL PENETRATIONS SHALL NOT INTERFERE OR INTERSECT BUILDING CORNERS AND TRIM. WALL AREA ACCENT OR WINDOW SURROUND TRIMS OR CONTROL JOINTS. ELECTRICAL METERS PER DETAIL 16/A7.45 - COORDINATE W/ MEP. CONTRACTOR TO VLT. SIZES AND LOCATION PRIOR INSTALLATION.
19	

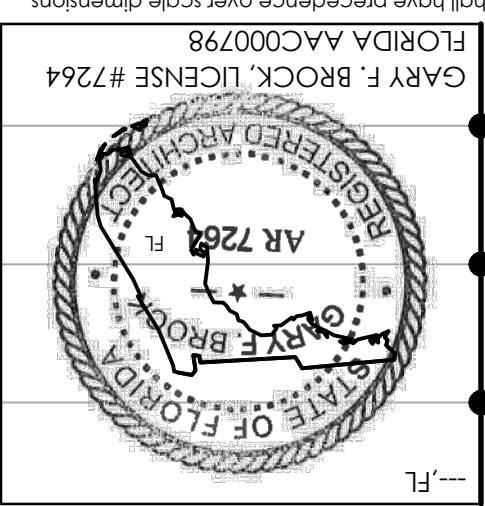
#### TYPICAL ELEVATION NOTES

- A. REFER TO ENLARGED ELEVATIONS FOR A TYPICAL DETAIL.
- B. MARKERS, ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
- C. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE LOCATED AFTER EXTERIOR CLADDING IS APPLIED AND PAINTED. IF SYSTEMS REQUIRE EXTERIOR ACCESS, PROVIDE SLOTTED DRAWINGS PRIOR TO THIS. CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
- D. EXTERIOR CLADDING - ENTIRE BUILDING TO BE WRAPPED WITH BUILDING WRAP, INSIDE AND OUTSIDE CORNERS TO BE OVERLAPPED 12 INCHES ON EACH FACE. 24 INCHES TOTAL. REFER TO DETAILS AT A2.31 FOR NAILING AND SEALING.
- E. PROVIDE SILICONE SEALANT AT ALL JOINTS ASSOCIATED WITH MASONRY VENER, INCLUDING CONTROL JOINTS AND WINDOW/DOOR PERIMETERS.
- F. STAIR RAILS AND GUARDS TO BE STEEL.
- G. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR.
- H. PROVIDE SILICONE SEALANT AT ALL CORNERS. REFER TO DETAILS ON SHEET A2.31 FOR CORNER DETAILS.
- I. PROVIDE SILICONE SEALANT W/ BOND BREAKER (TO PREVENT 3 SIDED ADHESION) AT TOP OF HORIZONTAL BUILDING JOINTS.
- J. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES. EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.
- K. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF HORIZONTAL CORNERS TO BE OVERLAPPED 12 INCHES ON EACH FACE. 24 INCHES TOTAL. REFER TO DETAILS AT A2.31 FOR NAILING AND SEALING.
- L. CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION. REFER TO A2.42 FOR DETAILS.
- M. EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS, TYP.
- N. LAP SIDING SHALL BE LAPPED A MINIMUM OF 1 1/4 INCHES AND SHALL HAVE ENDS SEALED WITH CAULKING.
- O. REFER TO SHEET A2.31 FOR BUILDING WRAP INSTALLATION.
- P. PROVIDE SILICONE BLOCKING FOR ROOF FLASHING.
- Q. ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC. COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
- R. LOCATIONS - PROVIDE FLASH BLOCKS AT EACH DOWNSPOUT.
- S. CONTROL JOINTS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR. SEE DETAILS.
- T. EXTERIOR WALLS SHALL BE WATERPROOFED OF ALL EXTERIOR WALL PENETRATIONS.
- U. ALL EXTERIOR RUNNING TRIM TO BE 5/4 X HARD PLANK OR APPROVED EQUAL UNJO.
- V. SLOPED AWAY FROM UNIT FOR DRAINAGE.
- W. LATH TO BE BROKEN AT CONTROL JOINT ACCESSORIES.

#### KEY NOTES

1. 30 YEAR ARCHITECTURAL STYLE SHINGLES, OVER 30 LBS TELL, OVER ROOF SHEATHING, OVER PRE-ENGINEERED ROOF TRUSSES.
2. METAL DRIP EDGE ON ALUMINUM WRAPPED WEATED 1X3 ON TREATED 2X8 PASCIA BOARD EQUAL.
3. STANDING SEAM METAL ROOF.
4. FIBER CEMENT TRIM OVER BUILDING SHEATHING.
5. 6 FIBER CEMENT LAP SIDING OVER WRAP ON EXTERIOR SHEATHING.
6. FIBER CEMENT PANEL.
7. 3 COAT THICK SMOOTH FINISH STUCCO SYSTEM ON METAL LATH ON 60 ML. PAPER OVER BLDG. WRAP ON EXTERIOR SHEATHING.
8. FIBER CEMENT CLAD COLUMN.
9. ALUMINUM GUARD - RAIL SYSTEM DECORATIVE BRACKET - FYPON OR EQUAL.
10. BRACKETS.
11. VINYL WINDOWS.
12. STOREFRONT WINDOW SYSTEM.
13. ALUMINUM STANDARD GUTTER (TYP.)
14. ALUMINUM STANDARD DOWNSPOUT (TYP.)
15. ALUMINUM STANDARD DOWNSPOUT (TYP.)
16. EXTERIOR LIGHT FIXTURE.
17. GARAGE DOOR.
18. DRYER/ BATH VENTS COORDINATE W/MEP. CONTRACTOR TO PERFORM. WALL MOUNTED APPURTENANCE, PIPING OR EQUIPMENT WILL PENETRATE OR BE MOUNTED TO WALL CLADDING. EFFECTING EXTERIOR WALL ZONES. WALL PENETRATIONS SHALL NOT INTERFERE OR INTERSECT BUILDING CORNERS AND TRIM. WALL AREA ACCENT OR WINDOW SURROUND TRIMS OR CONTROL JOINTS. ELECTRICAL METERS PER DETAIL 16/A7.45 - COORDINATE W/ MEP. CONTRACTOR TO VLT. SIZES AND LOCATION PRIOR INSTALLATION.
- 19.





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GARY F. BROCK, LICENSE #7264  
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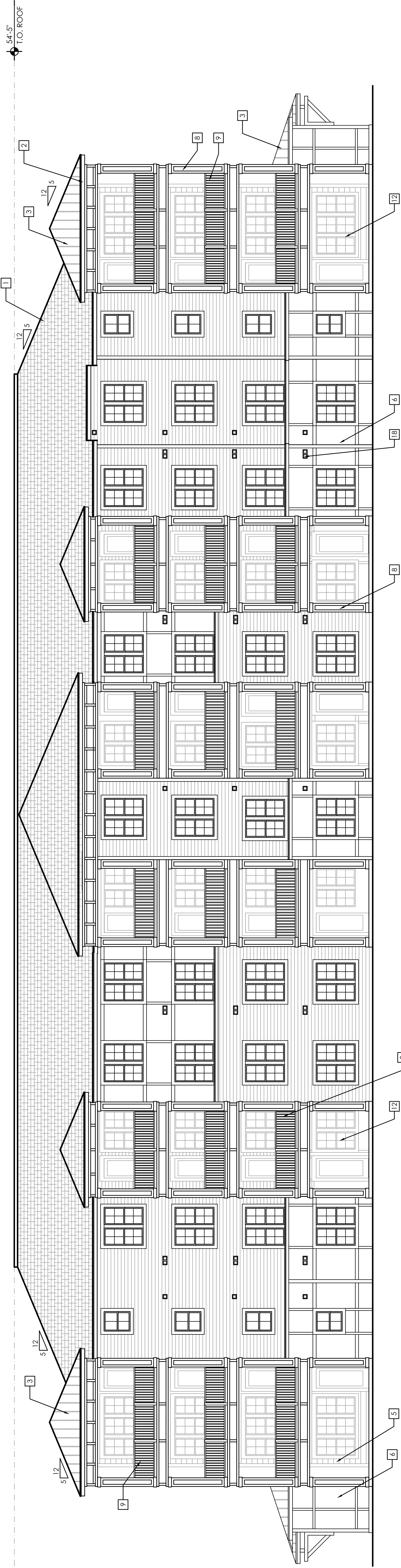
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BUILDING TYPE III  
ELEVATIONS

date: **03.28.2019**  
job no: **4157.19**  
drawn by: **RRO**  
reviewed by: **CBA**  
file: **4157A232**  
issue history:

A2.32



1 REAR ELEVATION

SCALE: 1/8"=1'-0"

#	KEY NOTES
1	30 YEAR ARCHITECTURAL STYLE SHINGLES. OVER 30 LBS TELL OVER ROOF SHEATHING. OVER PRE-ENGINEERED ROOF TRUSSES.
2	METAL DRIP EDGE ON ALUMINUM WRAPPED WEATED 1X3 ON TREATED 2X8 PASCIA BOARD WRAPPED 60 ML. PAPER OVER BLDG. WRAP
3	STANDING SEAM METAL ROOF
4	FIBER CEMENT TRIM OVER BUILDING SHEATHING
5	6 FIBER CEMENT LAP SIDING OVER BUILDING WRAP ON EXTERIOR
6	FIBER CEMENT PANEL
7	3 COAT THICK SMOOTH FINISH STUCCO SYSTEM ON METAL LATH ON 60 ML. PAPER OVER BLDG. WRAP ON EXTERIOR SHEATING
8	FIBER CEMENT CLAD COLUMN
9	ALUMINUM GUARD - RAIL SYSTEM
10	DECORATIVE BRACKET - FYPON OR EQUAL
11	BRACKETS
12	VINYL WINDOWS
13	STOREFRONT WINDOW SYSTEM
14	ALUMINUM STANDARD GUTTER (TYP.)
15	ALUMINUM STANDARD DOWNSPOUT (TYP.)
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19	ELECTRICAL MEERS PER DETAIL 16/A7.45 - COORDINATE W/ MEP. CONTRACTOR TO VLT. SIZES AND LOCATION PRIOR INSTALLATION.

TYPICAL ELEVATION NOTES

- A. REFER TO ENLARGED ELEVATIONS FOR A TYPICAL DETAIL MARKERS. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
- B. SEALANT MUST BE PROPERLY FLASHED AND/OR SEaled. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
- C. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE LOCATED AFTER EXTERIOR CLADDING IS APPLIED AND PAINTED. IF SEPARATE CLADDING IS REQUIRED, THE CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
- D. EXTERIOR CLADDING - ENTIRE BUILDING TO BE WRAPPED WITH BUILDING WRAP - INSIDE AND OUTSIDE CORNERS TO BE OVERLAPPED 12 INCHES ON EACH FACE. 24 INCHES TOTAL. REFER TO DETAILS AT A2.31 FOR NAILING AND PROVIDE SILICONE SEALANT AT ALL JOINTS ASSOCIATED WITH MASONRY VENER, INCLUDING CONTROL JOINTS AND WINDOW/DOOR PERIMETERS.
- E. EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS. TYP.
- F. STAIR RAILS AND GUARDS TO BE STEEL.
- G. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SHALL HAVE ENDS SEALED WITH CALULMING.
- H. PROVIDE SILICONE SEALANT AT ALL CORNERS. REFER TO DETAILS ON SHEET A2.31 FOR CORNER DETAILS.
- I. PROVIDE SILICONE SEALANT W/ BOND BREAKER (TO PREVENT 3 SIDED ADHESION) AT TOP OF HORIZONTAL BUILDING SUBSTRATES. EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.
- J. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES. EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.
- K. PROVIDE POSITIVE SLOPE 1:24 AT TOP OF HORIZONTAL CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION. REFER TO A2.42 FOR DETAILS.
- L. ALL ATTACHMENT AND PENETRATION THRU THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION. REFER TO A2.42 FOR DETAILS.
- M. EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS. TYP.
- N. LAP SIDING SHALL BE LAPPED A MINIMUM OF 1 1/4 INCHES AND SHALL HAVE ENDS SEALED WITH CALULMING.
- O. REFER TO SHEET A2.20 FOR BUILDING WRAP INSTALLATION PRACTICES AT DOORS AND WINDOWS.
- P. PROVIDE SILICONE BLOCKING FOR AC-SHUT AND SHUT DRAWINGS.
- Q. ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC.: COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
- R. LOCATIONS - PROVIDE FLASH BLOCKS AT EACH DOWNSPOUT. SEE SHEET A2.51 FOR DETAILS.
- S. CONTROL JOINTS SHALL BE CONTINUOUSLY SEALED AT EXTERIOR. SEE DETAILS.
- T. EXTERIOR WALLS TO BE COATED WITH PAINT COATING PRIOR TO INSTALLATION OF THE DOWNSPOUTS. TYP.
- U. ALL EXTERIOR RUNNING TRIM TO BE 5/4 x HARD PLANK OR APPROVED EQUAL UNO.
- V. EXTERIOR TRIM SHALL HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
- W. LATH TO BE BROKEN AT CONTROL JOINT ACCESSORIES.

#	KEY NOTES
1	30 YEAR ARCHITECTURAL STYLE SHINGLES. OVER 30 LBS TELL OVER ROOF SHEATHING. OVER PRE-ENGINEERED ROOF TRUSSES.
2	METAL DRIP EDGE ON ALUMINUM WRAPPED WEATED 1X3 ON TREATED 2X8 PASCIA BOARD WRAPPED 60 ML. PAPER OVER BLDG. WRAP
3	STANDING SEAM METAL ROOF
4	FIBER CEMENT TRIM OVER BUILDING SHEATHING
5	6 FIBER CEMENT LAP SIDING OVER BUILDING WRAP ON EXTERIOR
6	FIBER CEMENT PANEL
7	3 COAT THICK SMOOTH FINISH STUCCO SYSTEM ON METAL LATH ON 60 ML. PAPER OVER BLDG. WRAP ON EXTERIOR SHEATING
8	FIBER CEMENT CLAD COLUMN
9	ALUMINUM GUARD - RAIL SYSTEM
10	DECORATIVE BRACKET - FYPON OR EQUAL
11	BRACKETS
12	VINYL WINDOWS
13	STOREFRONT WINDOW SYSTEM
14	ALUMINUM STANDARD GUTTER (TYP.)
15	ALUMINUM STANDARD DOWNSPOUT (TYP.)
16	EXTERIOR LIGHT FIXTURE
17	GARAGE DOOR
18	DRYER/ BATH VENTS COORDINATE W/MEP. CONTRACTOR TO PERFORM. WALL MOUNTED APPURTENANCE, PIPING OR EQUIPMENT WILL PENETRATE OR BE MOUNTED TO WALL CLADDING. EFFECTING EXTERIOR WALL ZONES. WALL PENETRATIONS SHALL NOT INTERFERE OR INTERSECT BUILDING CORNERS AND TRIM. WALL AREA ACCENT OR WINDOW SURROUND TRIMS OR CONTROL JOINTS.
19	ELECTRICAL MEERS PER DETAIL 16/A7.45 - COORDINATE W/ MEP. CONTRACTOR TO VLT. SIZES AND LOCATION PRIOR INSTALLATION.

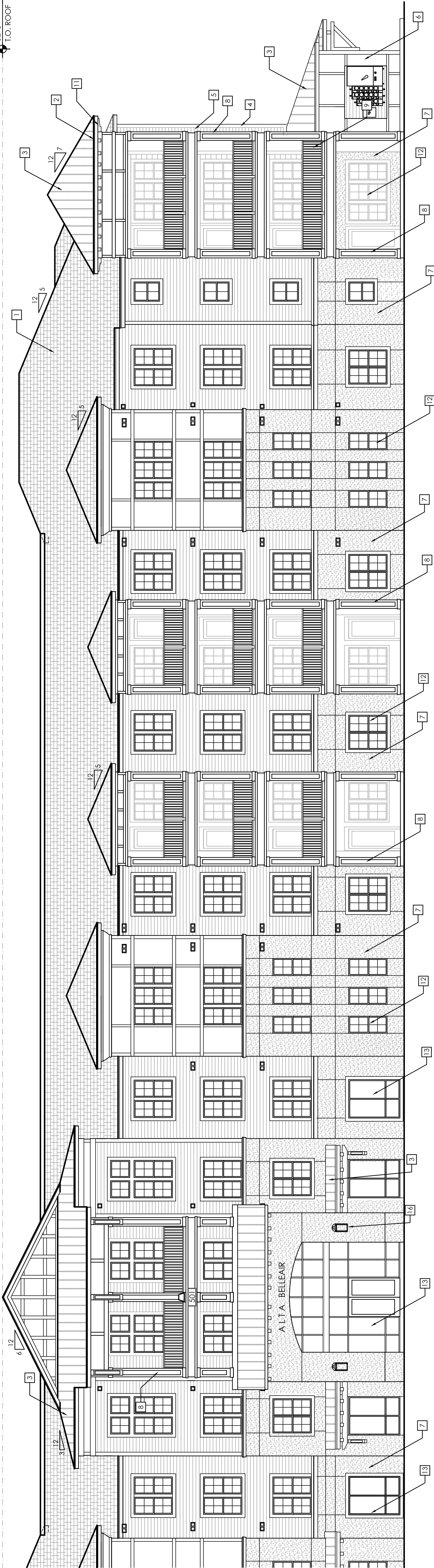




2 SIDE RIGHT ELEVATION  
BUILDING TYPE IV



1 FRONT ELEVATION  
BUILDING TYPE IV



1 FRONT ELEVATION  
BUILDING TYPE IV

#### TYPICAL ELEVATION NOTES

- A. REFER TO ENLARGED ELEVATIONS FOR A TYPICAL DETAIL.
- B. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT.
- C. FINISHES, INCLUDING EQUIPMENT, PANELS, ETC. SHALL BE APPLIED TO THE EXTERIOR FINISHES, APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF APPROVAL AND WATERPROOFING TO ARCHITECT FOR APPROVAL.
- D. TYPICAL EXTERIOR CLADDING - ENTIRE BUILDING TO BE WRAPPED WITH BUILDING WRAP - INSIDE AND OUTSIDE CORNERS TO BE OVERLAPPED 12 INCHES ON EACH FACE. 24 OVERLAP DETAILS.
- E. PROVIDE SILICONE SEALANT AT ALL JOINTS ASSOCIATED WITH MASONRY VENEER, INCLUDING CONTROL JOINTS AND WINDOW/DOOR FRAMEWORKS.
- F. STAIR RAILS AND GUARDS TO BE STEEL.
- G. AND SLOPE AWAY FROM BUILDING.
- H. PROVIDE SILICONE SEALANT AT ALL CORNERS. REFER TO DETAILS ON SHEET A2.31 FOR CORNER DETAILS.
- I. PROVIDE SILICONE SEALANT W/ BOND BREAKER (TO PREVENT ADHESION) AT TOP OF HORIZONTAL BUILDING BANDS.
- J. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES. EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ETC.
- K. PROVIDE SLOPE 1:2 AT TOP OF HORIZONTAL PROJECTIONS, TYPICAL.
- L. ALL ATTACHMENT AND PENETRATION THRU THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION. REFER TO A2.28 FOR DETAILS.
- M. PROVIDE SILICONE SEALANT TO ALL JOINTS ASSOCIATED WITH INSTALLATION OF THE DOWNSPOUTS, TYP.
- N. LATHING SHALL BE APPLIED A MINIMUM OF 1 1/4 INCHES AND SHALL HAVE THE ENDS SEALED WITH CAULKING. COVERED WITH A H-SECTION JOINT COVER OR LOCATED OVER A STRIP OF FLASHING.
- O. REFER TO SHEET A2.28 FOR BUILDING WRAP - INSTALLATION DETAILS. PROVIDE SUFFICIENT BLOCKING AT ALL BRACKET ATTACHMENTS. CONFIRM WITH SHOP DRAWINGS. COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING.
- P. PROVIDE SUFFICIENT BLOCKING AT ALL BRACKET ATTACHMENTS. CONFIRM WITH SHOP DRAWINGS. COLORS TO BE SELECTED TO MATCH SURROUNDING BUILDING.
- Q. ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC., TO BE SELECTED TO MATCH SURROUNDING BUILDING.
- R. PROVIDE SLOPE 1:2 AT TOP OF HORIZONTAL PROJECTIONS, TYPICAL.
- S. ALL ATTACHMENT AND PENETRATION THRU THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION. REFER TO A2.28 FOR DETAILS.
- T. PROVIDE SILICONE SEALANT TO ALL JOINTS ASSOCIATED WITH INSTALLATION OF THE DOWNSPOUTS, TYP.
- U. ALL EXTERIOR FINISHES SHALL BE 5/8" x 1 1/2" x 1/4" HARD PLANK OR APPROVED EQUAL LATH.
- V. ALL UNIT BALCONIES SHALL HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.
- W. LATH TO BE BROKEN AT CONTROL JOINT ACCESSORIES.

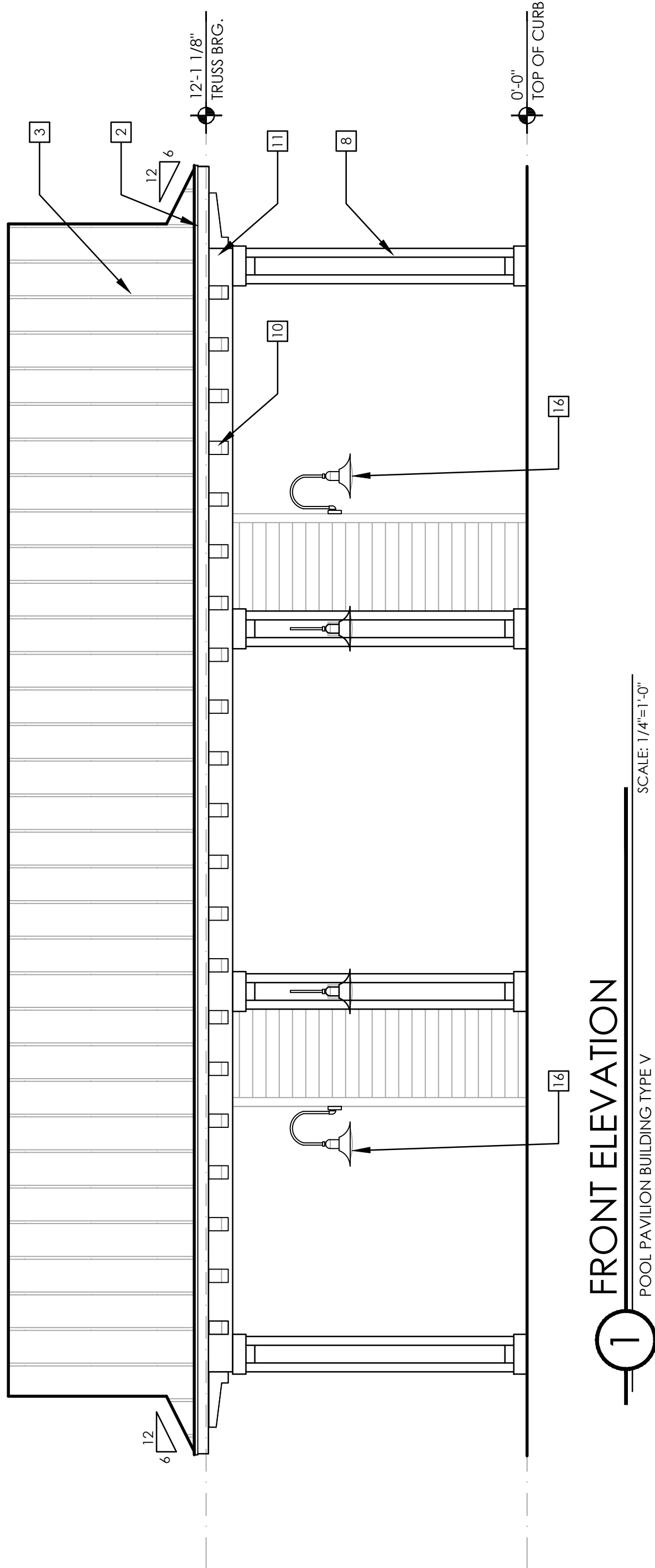
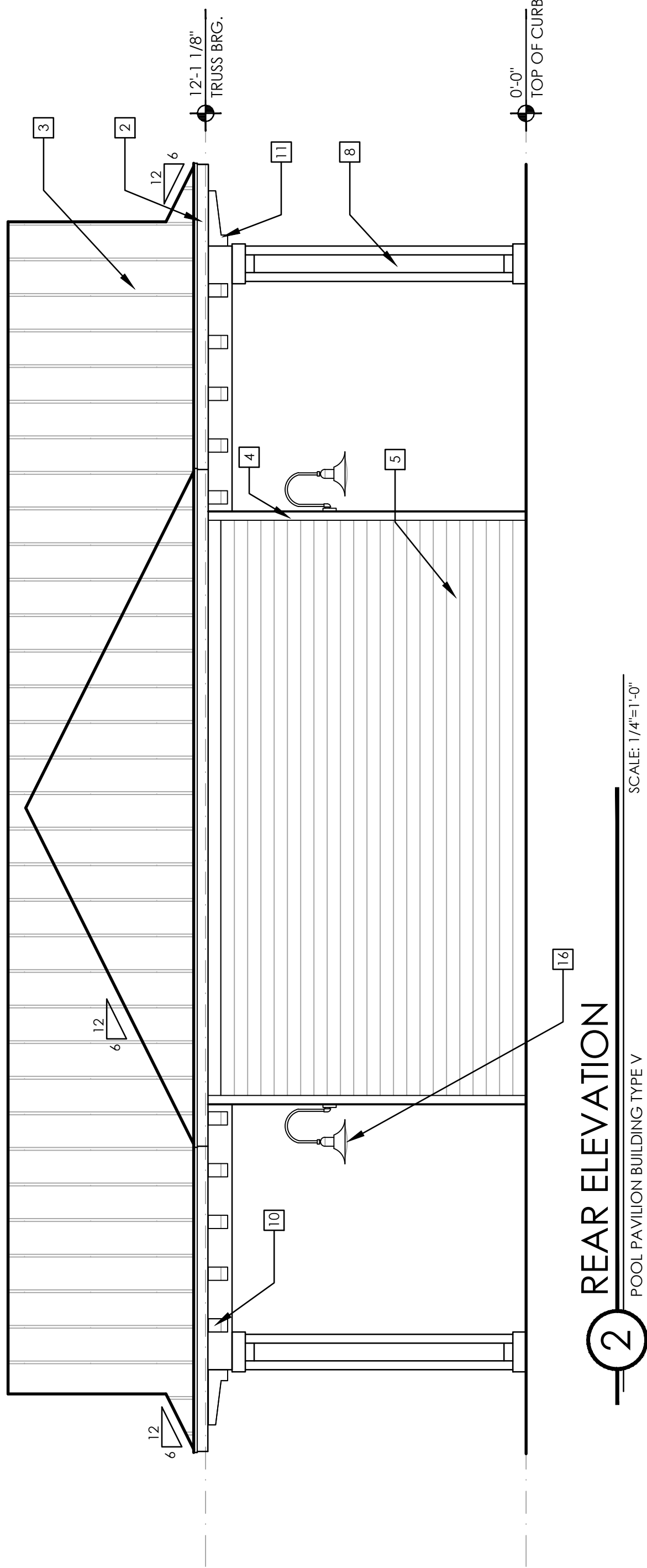
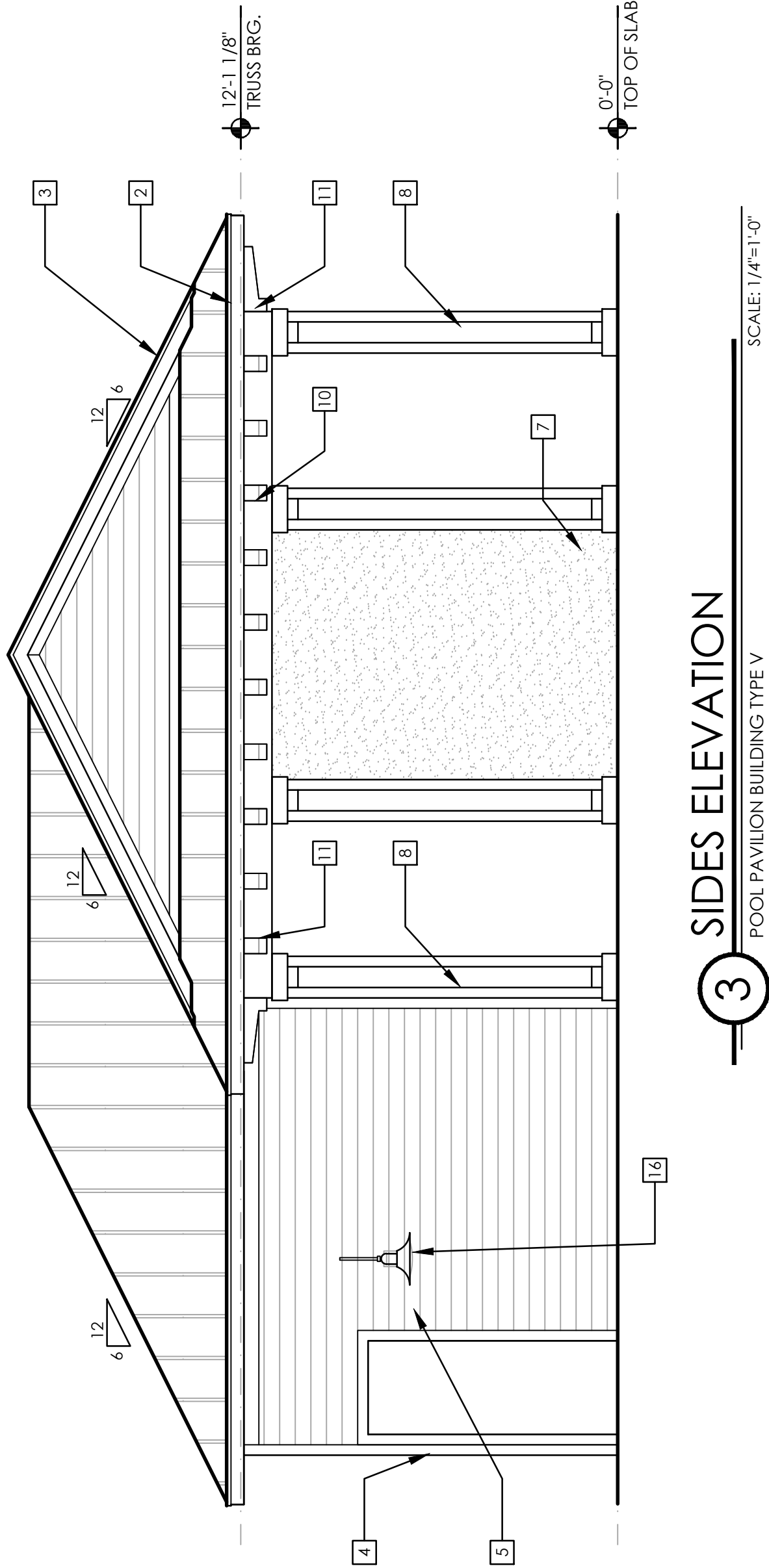
#### KEY NOTES

- 1 30 YEAR ARCHITECTURAL STYLE SHINGLES. OVER 30 LBS FELT OVER ROOF SHEATHING. OVER PRE-ENGINEERED ROOF TRUSSES.
- 2 METAL DRAIN EDGE ON ALUMINUM WRAPPED ROOF. TREATED 1X3 ON TREATED 2X8 FASCIA BOARD WITH ALUMINUM GUTTER PER ROOF PLAN.
- 3 STANDING SEAM METAL ROOF.
- 4 FIBER CEMENT TRIM OVER BUILDING WRAP ON EXTERIOR SHEATHING.
- 5 6" FIBER CEMENT LAP SIDING OVER BUILDING WRAP ON EXTERIOR SHEATHING.
- 6 FIBER CEMENT PANEL.
- 7 3 COAT THICK SMOOTH FINISH STUCCO SYSTEM ON METAL LATH ON EXTERIOR SHEATHING.
- 8 FIBER CEMENT CLAD COLUMN.
- 9 ALUMINUM GUARD - RAIL SYSTEM DECORATIVE BRACKET - PYPON OR EQUAL.
- 10 BRACKETS.
- 11 VINYL WINDOWS.
- 12 STOREFRONT WINDOW SYSTEM.
- 13 ALUMINUM STANDARD GUTTER (TYP.)
- 14 ALUMINUM STANDARD DOWNSPOUT (TYP.)
- 15 ALUMINUM STANDARD DOWNPOUT (TYP.)
- 16 EXTERIOR LIGHT FIXTURE.
- 17 GARAGE DOOR.
- 18 DRIVER/BATH VENTS COORDINATE WITH CONTRACTOR TO PERFORM LAYOUT CHECKS AND LOCATE AREAS WHERE VENT PIPING AND ASSOCIATED WALL MOUNTED APPEARANCE, PIPING OR EQUIPMENT WILL PENETRATE OR BE EXPOSED. PROVIDE EXTERIOR WALL MOUNTED APPEARANCE AND PENETRATIONS SHALL NOT INTERFERE OR INTERSECT BUILDING CORNERS AND TRIM. WALL AREA ACCENT OR WINDOW SURROUND TRIMS OR CONTROL JOINTS. BUILDING SIGN W EXT. LIGHT FIXTURE. ELECTRICAL METERS PER DETAIL. CONTRACTOR TO V.E. SIZES AND LOCATION PRIOR INSTALLATION.







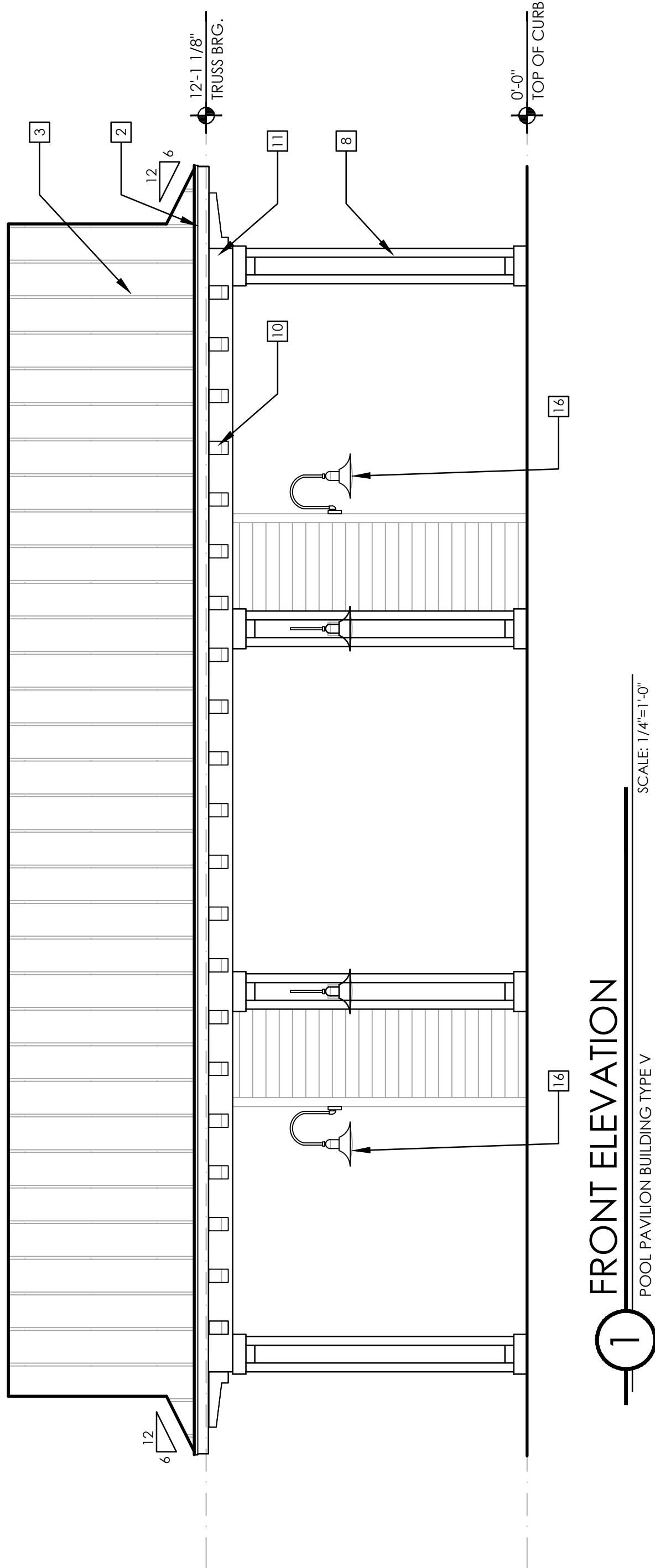
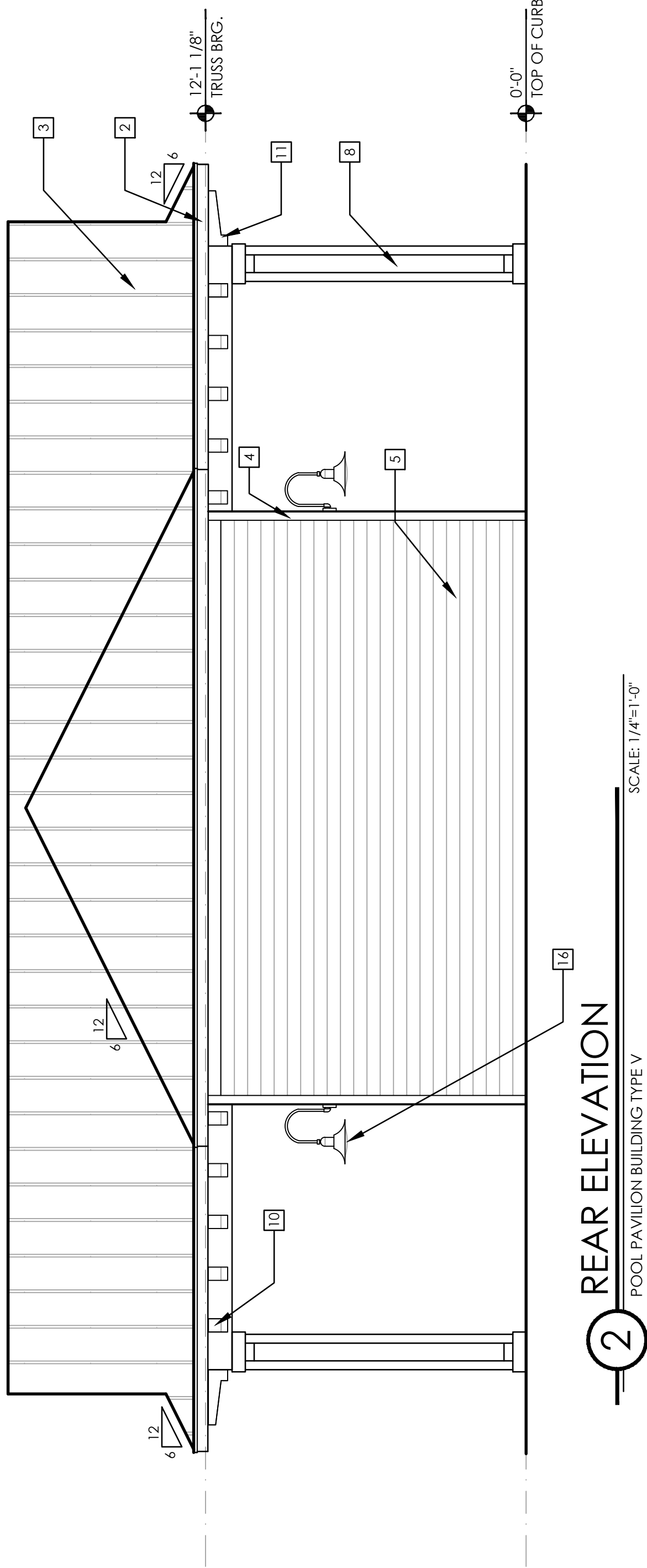


#		#		#	
1	30 YEAR ARCHITECTURAL STYLE SHINGLES, OVER 30 LBS FELT OVER ROOF SHEATHING, OVER PRE-ENGINEERED ROOF TRUSSES	7	3 COAT THICK SMOOTH FINISH STUCCO SYSTEM ON METAL LATH ON 60 MIN PAPER OVER BLDG. WRAP ON EXTERIOR SHEATING	14	ALUMINUM STANDARD GUTTER [TYP.]
2	METAL DRIP EDGE ON ALUMINUM WRAPPED, TREATED 1X3 ON TREATED 2X8 FASCIA BOARD WITH ALUMINUM GUTTER PER ROOF PLAN	8	FIBER CEMENT CLAD COLUMN	15	ALUMINUM STANDARD DOWNSPOUT [TYP.] EXTERIOR LIGHT FIXTURE
3	STANDING SEAM METAL ROOF	9	ALUMINUM GUARD- RAIL SYSTEM EQUAL	16	GARAGE DOOR
4	FIBER CEMENT TRIM OVER BUILDING WRAP ON EXTERIOR SHEATING	10	DECORATIVE BRACKET - FIPYON OR EQUAL	17	DRYER/ BATH VENTS COORDINATE W/MEP
5	6" FIBER CEMENT LAP SIDING OVER BUILDING WRAP ON EXTERIOR SHEATING	11	BRACKETS	18	BUILDING SIGN
6	FIBER CEMENT PANEL	12	VINYL WINDOWS	19	2 COAT THICK SMOOTH FINISH STUCCO SYSTEM ON CMU WALLS GATE CONTROLS WILL BE WITHIN ACCESSIBLE REACH RANGE (MAXIMUM 54" AFF.)
		13	STOREFRONT WINDOW SYSTEM	20	
				21	

3 SIDES ELEVATION

POOL PAVILION BUILDING TYPE V

SCALE: 1/4"=1'-0"



#		#		#	
1	30 YEAR ARCHITECTURAL STYLE SHINGLES, OVER 30 LBS FELT OVER ROOF SHEATHING, OVER PRE-ENGINEERED ROOF TRUSSES	7	3 COAT THICK SMOOTH FINISH STUCCO SYSTEM ON METAL LATH ON 60 MIN PAPER OVER BLDG. WRAP ON EXTERIOR SHEATING	14	ALUMINUM STANDARD GUTTER [TYP.]
2	METAL DRIP EDGE ON ALUMINUM WRAPPED, TREATED 1X3 ON TREATED 2X8 FASCIA BOARD WITH ALUMINUM GUTTER PER ROOF PLAN	8	FIBER CEMENT CLAD COLUMN	15	ALUMINUM STANDARD DOWNSPOUT [TYP.] EXTERIOR LIGHT FIXTURE
3	STANDING SEAM METAL ROOF	9	ALUMINUM GUARD- RAIL SYSTEM EQUAL	16	GARAGE DOOR
4	FIBER CEMENT TRIM OVER BUILDING WRAP ON EXTERIOR SHEATING	10	DECORATIVE BRACKET - FIPYON OR EQUAL	17	DRYER/ BATH VENTS COORDINATE W/MEP
5	6" FIBER CEMENT LAP SIDING OVER BUILDING WRAP ON EXTERIOR SHEATING	11	BRACKETS	18	BUILDING SIGN
6	FIBER CEMENT PANEL	12	VINYL WINDOWS	19	2 COAT THICK SMOOTH FINISH STUCCO SYSTEM ON CMU WALLS GATE CONTROLS WILL BE WITHIN ACCESSIBLE REACH RANGE (MAXIMUM 54" AFF.)
		13	STOREFRONT WINDOW SYSTEM	20	
				21	

3 SIDES ELEVATION

POOL PAVILION BUILDING TYPE V

SCALE: 1/4"=1'-0"

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POOL PAVILION

BLDG. TYPE V

BUILDING ELEVATIONS

date: 03.28.2019

job no: 4157.19

drawn by: RRO

reviewed by: CBA

file: 4157A251

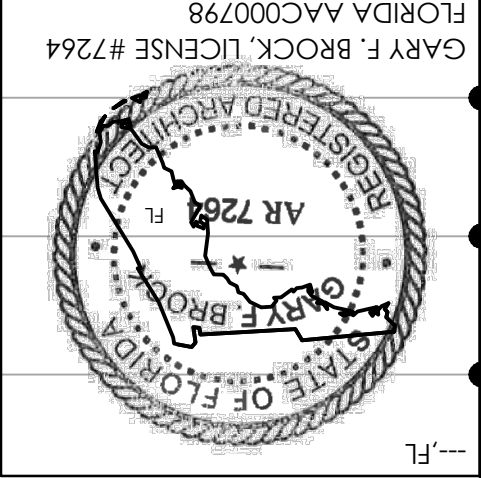
issue history:

3 SIDES ELEVATION

POOL PAVILION BUILDING TYPE V

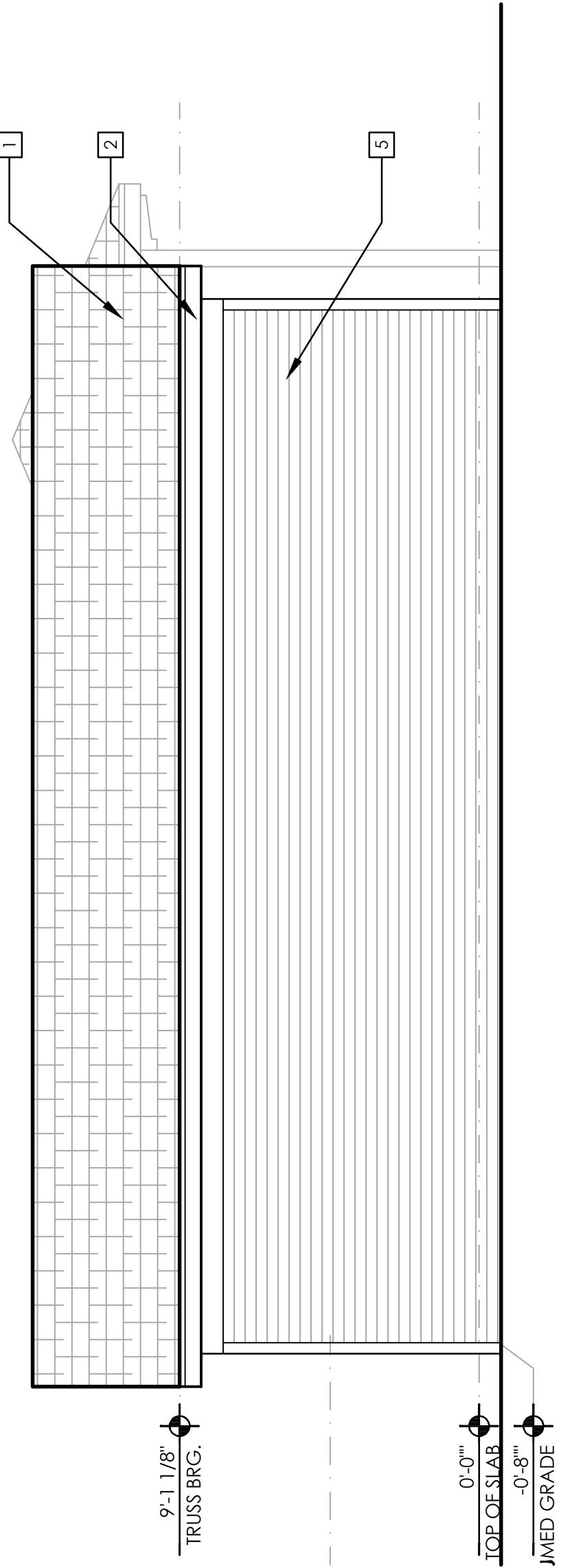
SCALE: 1/4"=1'-0"

A2.51



FLORIDA AAC000798  
GARY F. BROCK, LICENSE #7264

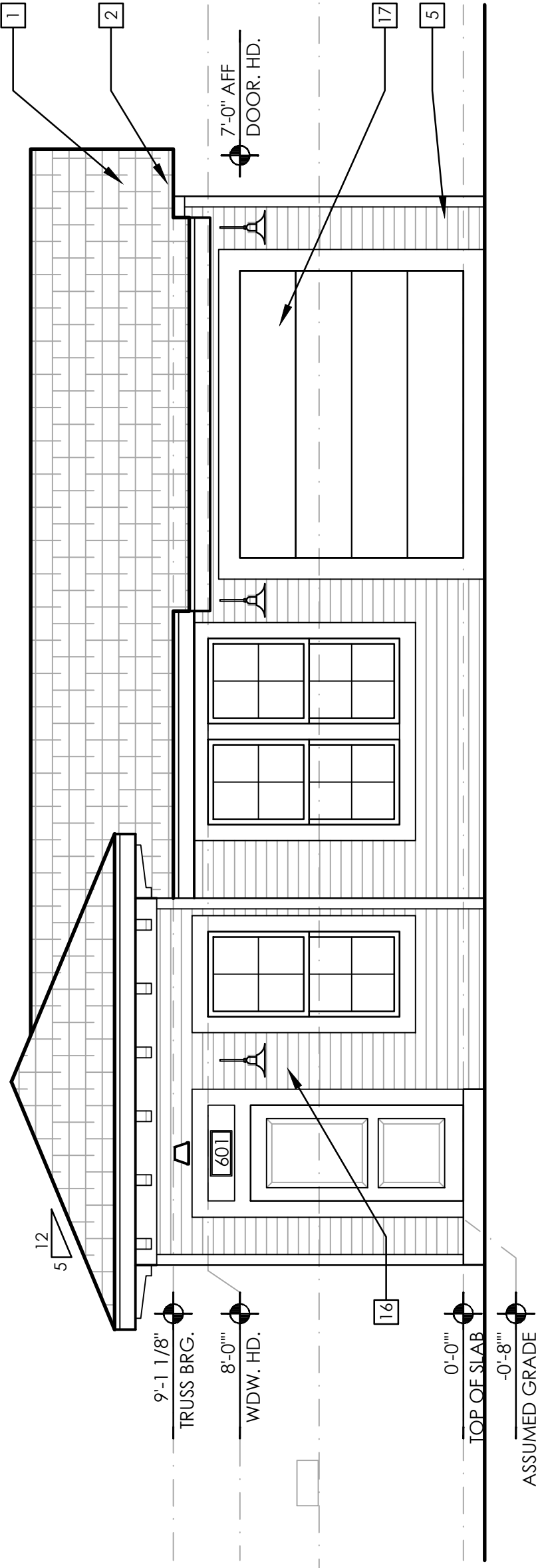




3 REAR ELEVATION

MAINTENANCE BUILDING TYPE VI

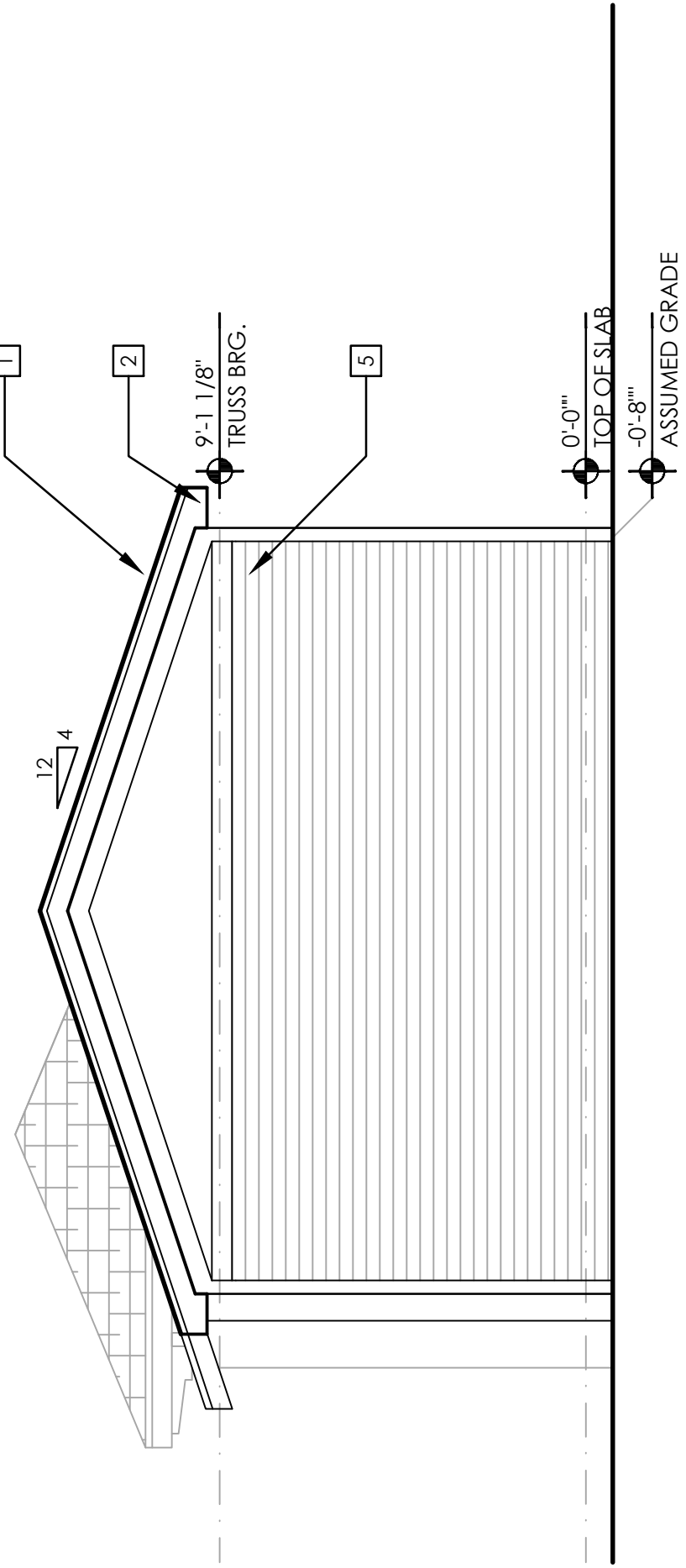
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION

MAINTENANCE BUILDING TYPE VI

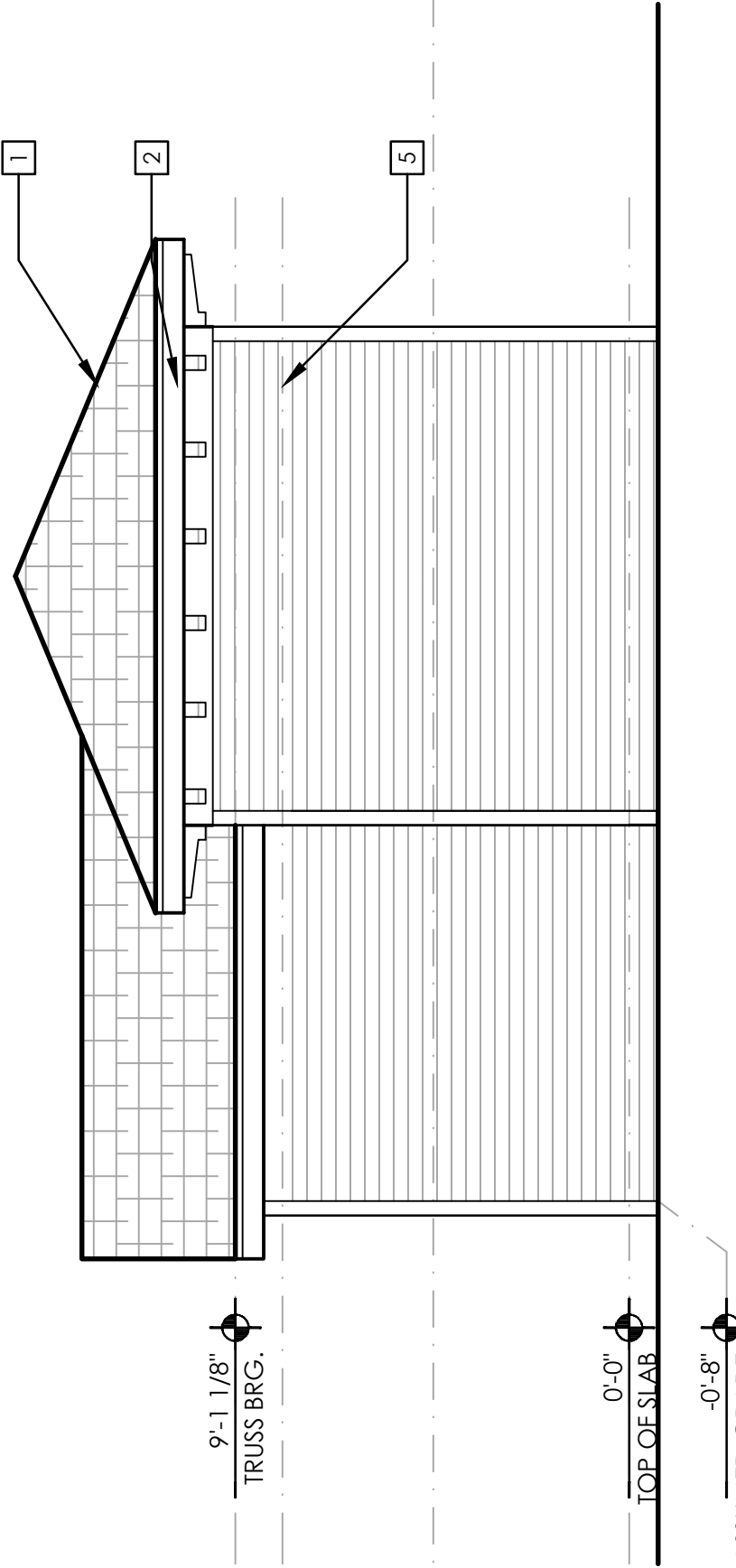
SCALE: 1/4"=1'-0"



4 SIDE ELEVATION

MAINTENANCE BUILDING TYPE VI

SCALE: 1/4"=1'-0"

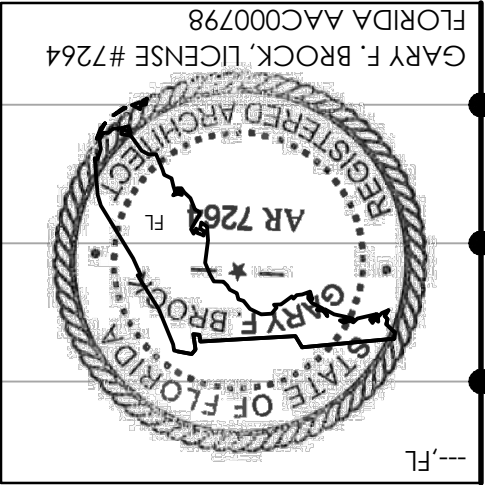


2 SIDE ELEVATION

MAINTENANCE BUILDING TYPE VI

SCALE: 1/4"=1'-0"

KEY NOTES			#		
1	30 YEAR ARCHITECTURAL STYLE SHINGLES, OVER 30 LBS FELT, OVER ROOF SHEATHING, OVER PRE-ENGINEERED ROOF TRUSSES	7	3 COAT THICK SMOOTH FINISH STUCCO SYSTEM ON METAL LATH ON 60 MIN PAPER OVER BLDG. WRAP ON EXTERIOR SHEATHING	14	ALUMINUM STANDARD GUTTER (TYP.)
2	METAL DRIP EDGE ON ALUMINUM WRAPPED TREATED 1X3 ON TREATED 2X8 FASCIA BOARD WITH ALUMINUM GUTTER PER ROOF PLAN	8	FIBER CEMENT CLAD COLUMN	15	ALUMINUM STANDARD DOWNSPOUT (TYP.)
3	STANDING SEAM METAL ROOF	9	ALUMINUM GUARD- RAIL SYSTEM	16	EXTERIOR LIGHT FIXTURE
4	FIBER CEMENT TRIM OVER BUILDING WRAP ON EXTERIOR SHEATHING	10	DECORATIVE BRACKET - FYPON OR EQUAL	17	GARAGE DOOR
5	6" FIBER CEMENT LAP SIDING OVER BUILDING WRAP ON EXTERIOR SHEATHING	11	BRACKETS	18	DRYER/ BATH VENTS COORDINATE W/MEP
6	FIBER CEMENT PANEL	12	VINYL WINDOWS	19	BUILDING SIGN
		13	STOREFRONT WINDOW SYSTEM	20	2 COAT THICK SMOOTH FINISH STUCCO SYSTEM ON CMU WALLS
				21	GATE CONTROLS WILL BE WITHIN ACCESSIBLE REACH RANGE (MAXIMUM 54" AFF.)



---FL

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MAINTENANCE BUILDING

BLDG. TYPE VI

BUILDING ELEVATIONS

date: **03.28.2019**  
job no: **4157.19**  
drawn by: **RRO**  
reviewed by: **CBA**  
file: **4157A261**  
issue history:



GENERAL ELEVATION NOTES		
1. TYPICAL EXTERIOR CLADDING - COMBINATION OF CEMENTITIOUS LAPPED SIDING, CEMENTITIOUS PANEL SIDING AND CULTURED STONE VENEER. ALL EXTERIOR CORNERS TO BE PRE-WRAPPED WITH WRAP. INSIDE A COURSE CORNERS TO BE PRE-WRAPPED WITH SELF-ADHERED MEMBRANE FOR 6" EACH SIDE OF CORNER. STONE VENEER TO BE INSTALLED OVER STUCCO BASE WITH METAL LATH, DRAINAGE MAT, AND #30 FELT OVER BUILDING WRAP.	7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.	TO BE SELECTED TO MATCH SURROUNDING BUILDING PAINT COLOR.
2. ALL EXTERIOR TRIM TO BE 5/4" FIBER CEMENT TRIM.	8. PROVIDE URETHANE SEALANT AT ALL INSIDE CORNERS AND WINDOW/DOOR PERIMETERS.	15. ALL DRYER VENTS TO ALIGN HORIZONTAL AND VERTICALLY.
3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. REFER TO SHEETS A7.41 & A7.42 FOR PENETRATION DETAILS.	9. PROVIDE URETHANE SEALANT W/ BOND BREAKER (TO PREVENT 3-SIDED ADHESION) AT TOP AND BOTTOM OF HORIZ. BUILDING BANDS.	
4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL.	10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILINGS, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ECT.	
5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE.	11. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF TRIM BANDS. TYPICAL.	
6. ALL EXTERIOR BALCONY RAILS TO BE ANODIZED ALUMINUM.	12. ALL ATTACHMENT AND PENETRATION THRU THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION. REFER TO A7.41 FOR DETAILS.	
	13. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3"x5" ANODIZED ALUMINUM.	
	14. ALL EXTERIOR VENTS, DEVICES, ELEC. EQUIPMENT, ETC.: COLORS	

KEY NOTES		#
1	30 YEAR ARCHITECTURAL STYLE SHINGLES, OVER 30 LB5 FELT, OVER ROOF SHEATHING, OVER PRE-ENGINEERED ROOF TRUSSES ON EXTERIOR SHEATHING	7
2	METAL DRIP EDGE ON ALUMINUM WRAPPED TREATED X3 ON TREATED 2X8 FASCIA BOARD WITH ALUMINUM GUTTER PER ROOF PLAN	8
3	STANDING SEAM METAL ROOF	9
4	FIBER CEMENT TRIM OVER BUILDING WRAP ON EXTERIOR SHEATHING	10
5	6" FIBER CEMENT LAP SIDING OVER BUILDING WRAP ON EXTERIOR SHEATHING	11
6	FIBER CEMENT PANEL	12
7	3 COAT THICK SMOOTH FINISH STUCCO SYSTEM ON METAL LATH ON 40 MIN PAPER OVER BLDG. WRAP	14
8	FIBER CEMENT CLAD COLUMN	15
9	ALUMINUM GUARD- RAIL SYSTEM EQUAL	16
10	DECORATIVE BRACKET - FYPON OR EQUAL	17
11	BRACKETS	18
12	VINYL WINDOWS	19
13	STOREFRONT WINDOW SYSTEM	20
14	ALUMINUM STANDARD GUTTER (TYP.)	21
15	ALUMINUM STANDARD DOWNSPOUT (TYP.)	22
16	EXTERIOR LIGHT FIXTURE	23
17	GARAGE DOOR	24
18	DRYER/ BATH VENTS COORDINATE W/MEP	25
19	BUILDING SIGN	26
20	2 COAT THICK SMOOTH FINISH STUCCO SYSTEM ON CMU WALLS ACCESSIBLE REACH RANGE (MAXIMUM 54" AFF.)	27

date: **03.28.2019**

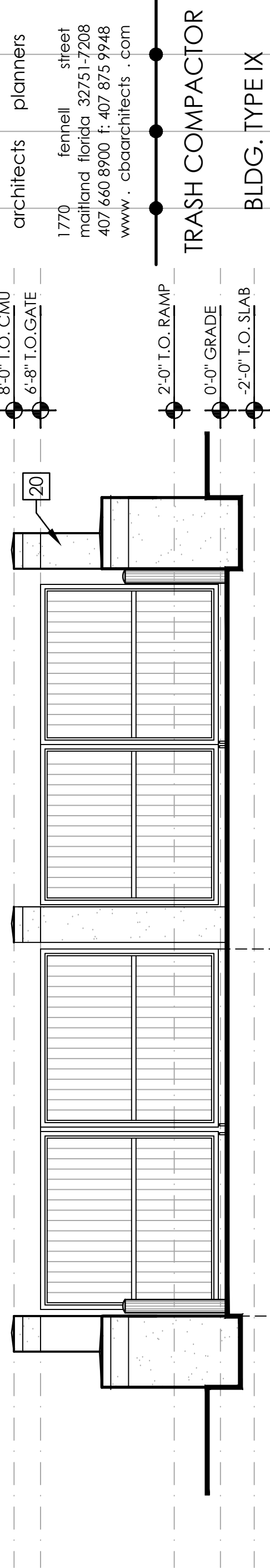
job no: **4157.19**

drawn by: **RRO**

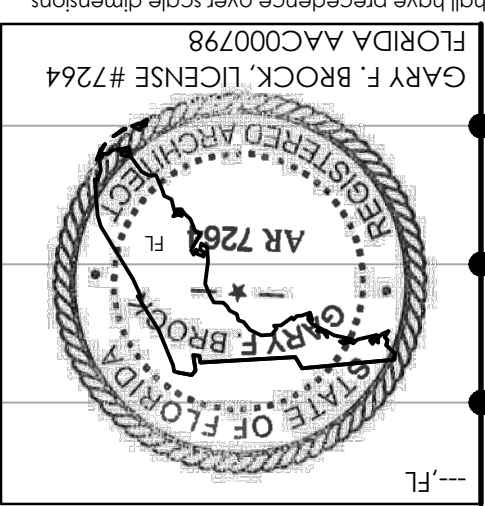
reviewed by: **CBA**

file: **4157A291**

issue history:







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date: 03.28.2019

job no: 4157.19

drawn by: RRO

reviewed by: CBA

file: 4157A271

issue history:

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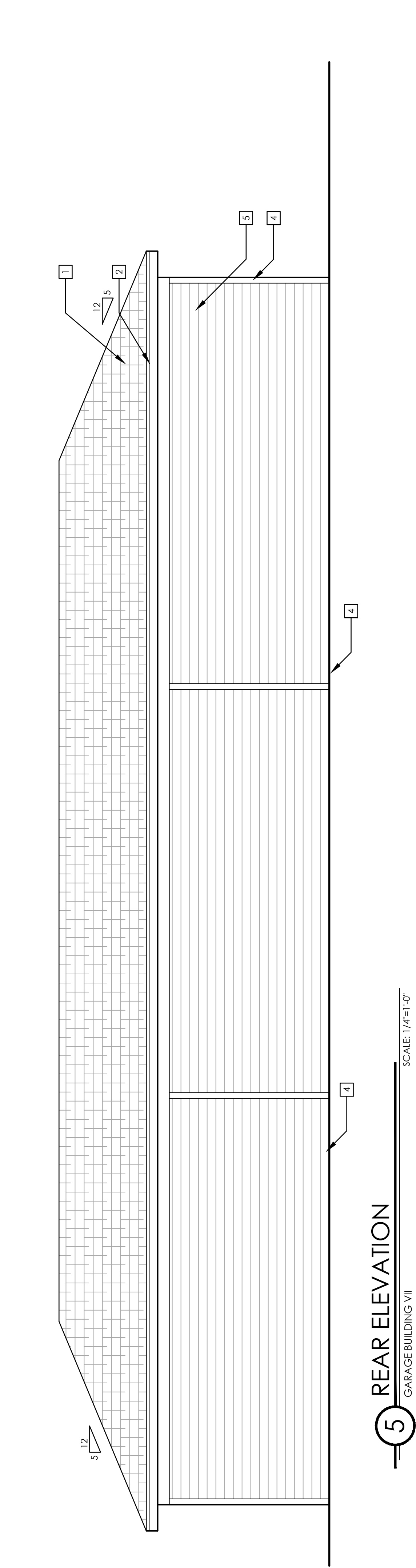
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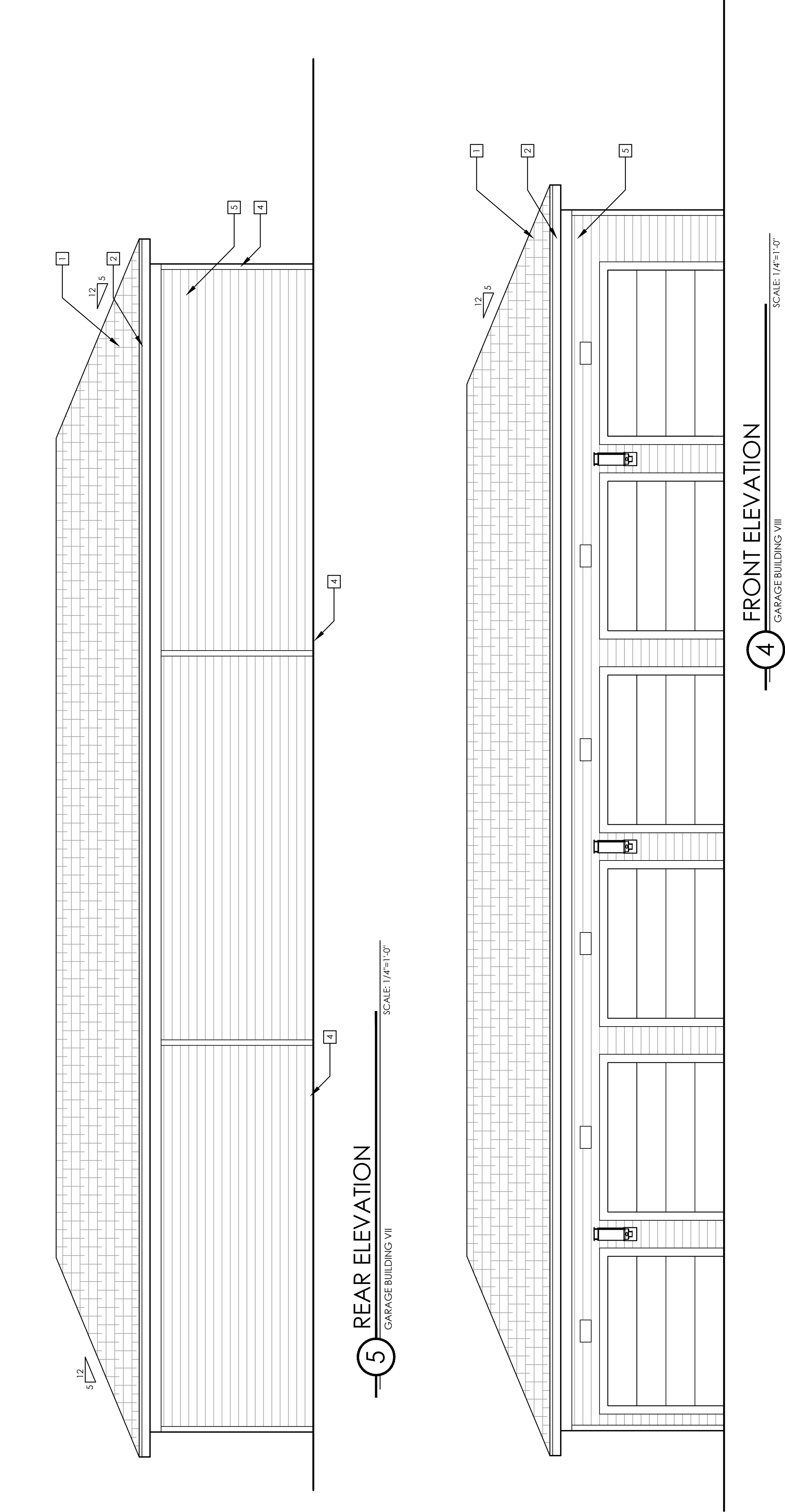
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5 REAR ELEVATION

GARAGE BUILDING VII

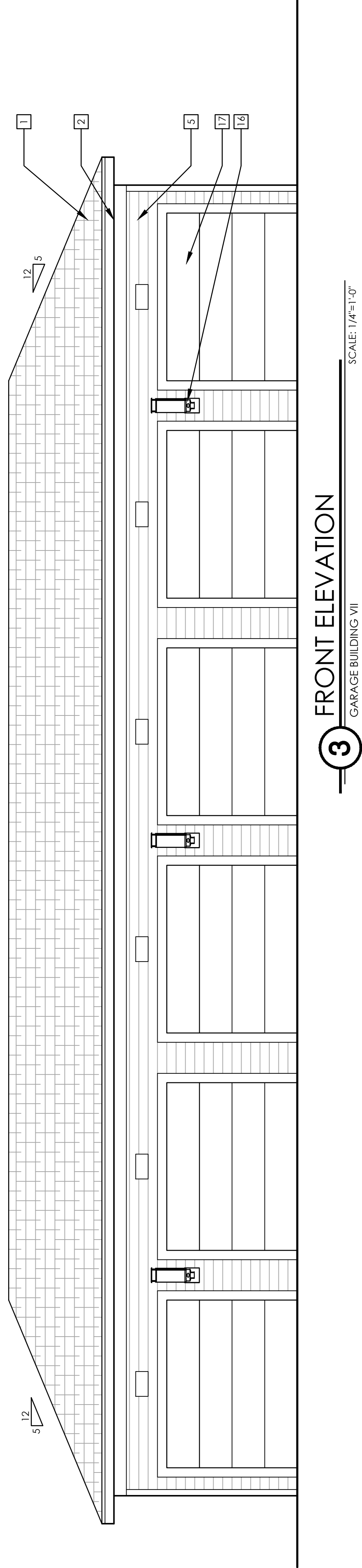
SCALE: 1/4"=1'-0"



4 FRONT ELEVATION

GARAGE BUILDING VIII

SCALE: 1/4"=1'-0"





LUPA 2018-1, Z 2018-1, PUD 2019-4 - Aerial Map

### Legend

## Centerlines



Notes:



1: 9,028

752.3 Feet

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752.3

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere



LUPA 2018-1, Z 2018-1, PUD 2019-4 - Land Use Plan Map

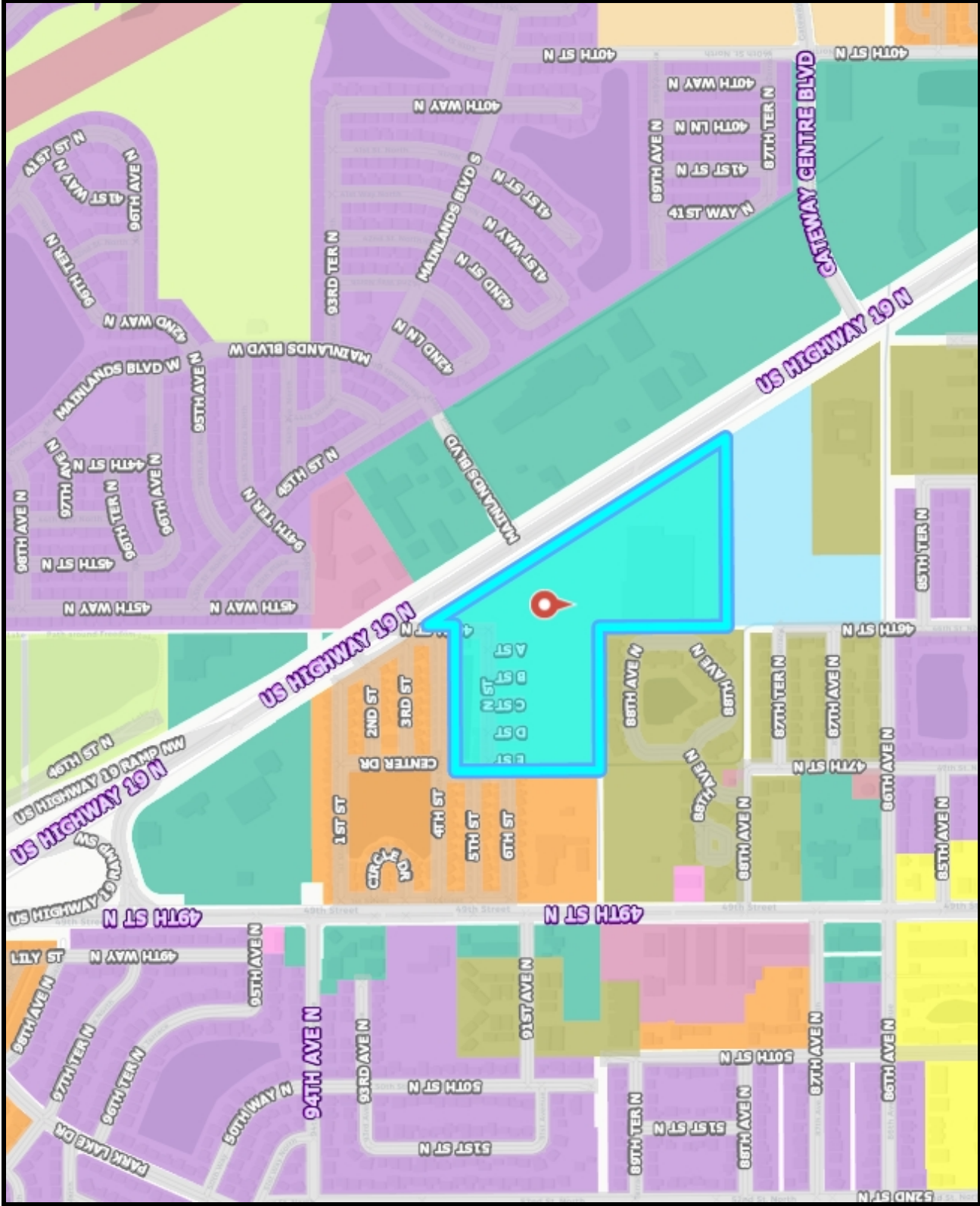
Legend

Centerlines

Land Use Fill

- Commercial General - CG
- Commercial General (Residential Medium) - CG(R)
- Commercial Neighborhood - CN
- Commercial Recreation - CR
- Community Redevelopment District - CRD
- Industrial General - IG
- Industrial Limited - IL
- Institutional - INS
- Preservation - P
- Residential/Office/Retail - R/O/R
- Residential/Office General - R/OG
- Recreation/Open Space - R/OS
- Residential Facilities High - RPH
- Residential Low - RL
- Residential Low Medium - RLM
- Residential Medium - RM
- Residential Suburban - RS
- Residential Urban - RU
- Residential Urban (Commercial General) - RU(CG)
- Residential Urban (Residential Low) - RU(RL)
- Transportation/Utility - T/U

EXHIBIT D



Notes:

1: 9,028

752.3 Feet

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WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

NORTH



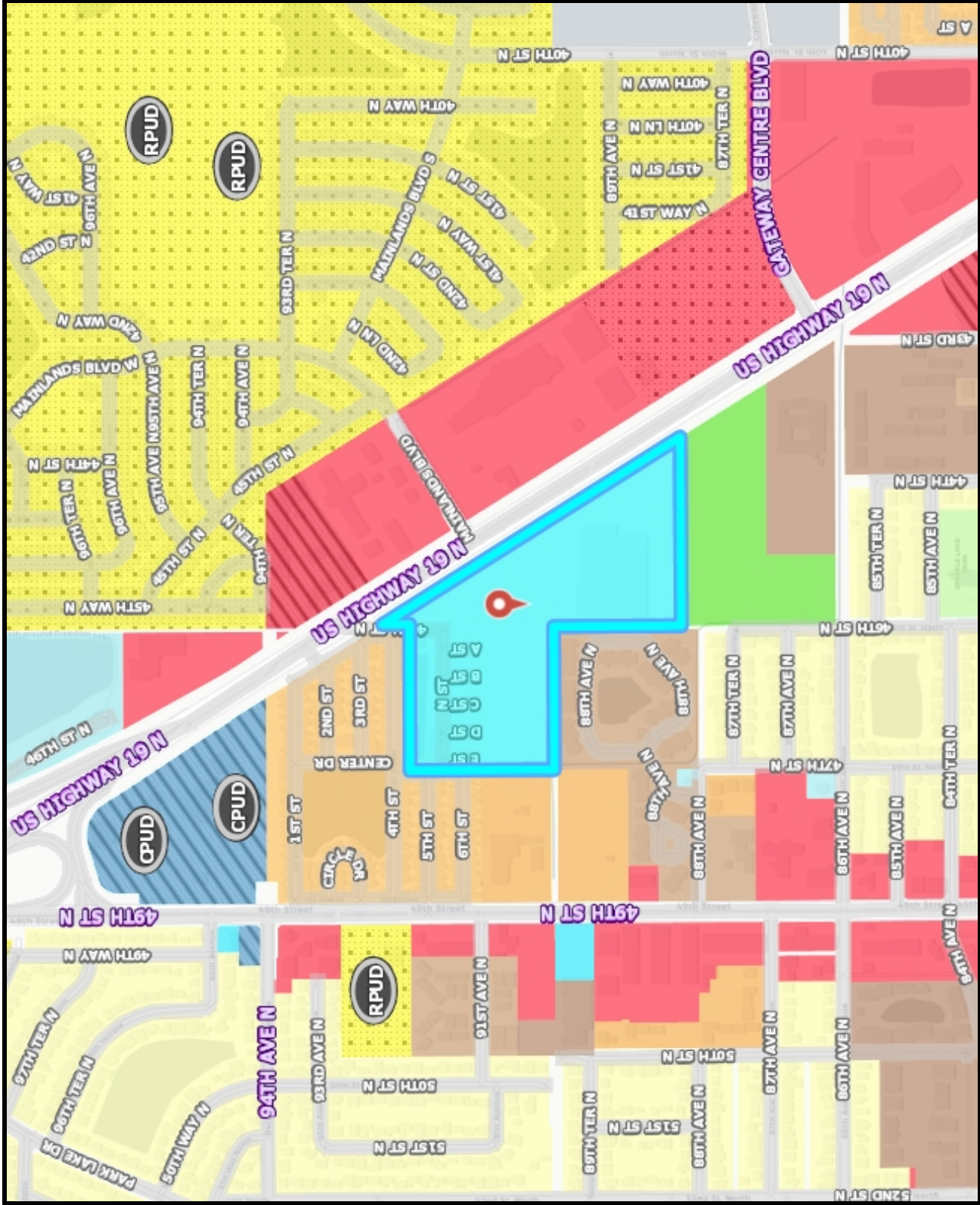
LUPA 2018-1, Z 2018-1, PUD 2019-4 - Zoning Map

Legend

Centerlines

Zoning Fill

- General Commercial - B-1
  - Heavy Commercial - CH
  - Commercial Neighborhood - CN
  - Commercial Planned Unit Development - CPUD
  - Farm - F
  - General Office - GO
  - Heavy Industrial - IH
  - Industrial Planned Unit Development - IPUD
  - Light Industrial - M-1
  - Residential / Office / Retail - ROR
  - Mixed Use Development - MXD
  - Mixed Use Development - MXD-2
  - Open Space - O/S
  - Public - P
  - Preservation - PRES.
  - Single Family Residential - R-1
  - Single Family Residential - R-2
  - Single Family Residential - R-3
  - Duplex Residential - R-4
  - Multifamily Residential - R-5
  - Multifamily Residential/Commercial - R-6
  - Single Family Residential Estate - R-E
  - Residential Planned Unit Development - RPUD
  - Rural Residential - RR
  - Mobile Home Subdivision - T-1
  - Mobile Home Park - T-2
  - Town Center - TC
- Zoning Overlay District
- Commercial Planned Unit Development - CPUD
  - Industrial Planned Unit Development - IPUD
  - Residential Planned Unit Development - RPUD



Notes:

1: 9,028

752.3 Feet

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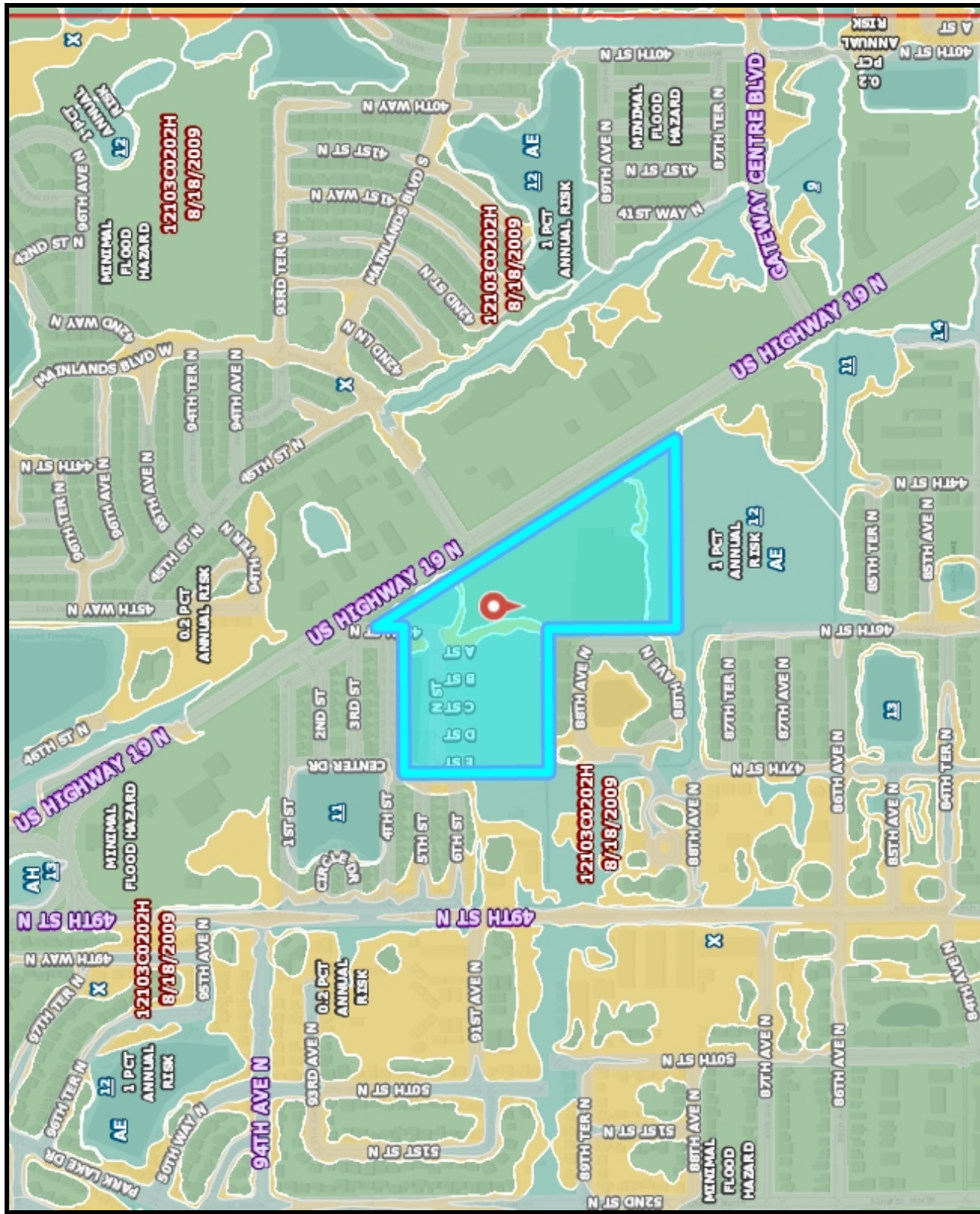
NORTH



# LUPA 2018-1, Z 2018-1, PUD 2019-4 - Flood Insurance Rate Map

## Legend

- Centerlines
- Base Flood Elevation
- FIRM Panels
- Flood Hazard Lines
- LIMIT LINES
- SFHA / FLOOD ZONE BOUNDARY
- Flood Hazard Areas
- <all other values>
- 1% Annual Chance Flood Hazard (A, AE, AH, VE)
- 0.2% Annual Chance Flood Hazard (X)
- Area of Minimal Flood Hazard (X)
- Floodway (AE)
- Floodplain Delineations
- Minimal Flood Hazard
- 500 Year Floodplain (0.2% Annual Risk)
- 100 Year Floodplain (1% Annual Risk)
- Floodway
- Coastal High Hazard Area



Notes:

1: 9,028

752.3 Feet

376.17

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City of

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PINELLAS PARK, FL 33780-1100



# FLORIDA

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Lauren Christ Rubenstein, Assistant City Attorney  
Denhardt and Rubenstein, Attorneys at Law  
2700 First Avenue North  
St. Petersburg, Florida 33713  
(727) 327-3400 - Telephone  
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November 5, 2019

Ms. Erica Lindquist  
Planning & Development Review Manager  
City of Pinellas Park  
P. O. Box 1100  
Pinellas Park, Florida 33780-1100

**RE: City Document #19-348**  
**LUPA 2018-1 Ordinance, 8900 US Highway 19**

Dear Ms. Lindquist:

I have received and reviewed the above-referenced Ordinance. Assuming the legal description in Exhibit A is correct, I would approve of the Ordinance as to form and correctness.

Very truly yours,

Lauren C. Rubenstein  
Assistant City Attorney

cc: Doug Lewis, City Manager  
Diane M. Corna, MMC, City Clerk  
Patrick Murphy, Deputy City Manager  
Ben Ziskal, Community Development Administrator

LCR/dh

19-348.11052019.LEL.LUPA 2018-1 Ordinance 8900 US Hwy 19.wpd



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